




Proposed indicative artist impression of housing streetscape. All landscape features are indicative only. Refer to landscape consultants documentation package for landscape design & plant species selection.




**Certificate No. # D6MMRR6XT5**

Scan QR code or follow website link for rating details.

Assessor name  
Accreditation No.  
Property Address

Claude-Francois Sookkoll  
DMN/14/1662  
7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA,  
2214, NSW, 2214



<https://www.fr5.com.au/QRCodeLanding?PubId=D6MMRR6XT5>

28.02.25 31.01.25 date	B A rev	ISSUE FOR DA SUBMISSION	amendment
		ISSUE FOR BASIX ASSESSMENT	



Level 14, 100 George St  
Sydney NSW 2000  
Tel: 02 9250 8800

Mirvac Design Pty Ltd  
ABN 76 001 109 113

Mirvac Design Nominees / Responsible Architects:  
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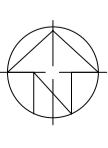
client:



project:  
**RIVERLANDS - MILPERRA**  
56 Prescot Parade, Milperra NSW 2214  
stage: 01  
site: 7A

title:  
**COVER SHEET**

job no: MB-10245  
drawing no: 000  
date: 28.02.25  
scale @ A1: 1 : 5000  
rev: B



# RIVERLANDS SITE 7A

STAGE 1 - SITE 7A  
LOTS: 7A-081 - 7A-152

SHEET No.	DRAWING TITLE	REVISION
000	COVER SHEET	B
050	LOCALITY & SITE ANALYSIS PLAN	B
100	SUBDIVISION PLAN	B
101	LOT LAYOUT AND SITING	B
110	EROSION & SEDIMENT CONTROL PLAN	B
120	HYDRAULIC CONCEPT PLAN	B
210	GROUND FLOOR PLAN	B
220	FIRST FLOOR PLAN	B
250	ROOF / FIRE RATED EAVES PLAN	B
260	ELEVATIONS LOTS 081 -092	B
261	ELEVATIONS LOTS 101 - 112	B
262	ELEVATIONS LOTS 121 - 132	B
263	ELEVATIONS LOTS 141 - 142	B
264	ELEVATIONS LOTS 151 - 152	B
268	COLOURED STREETSCAPE	B
270	SECTIONS	B
271	SECTIONS	B
272	SECTIONS	B
290	NEIGHBOURING NOTIFICATION PLANS	B
291	NEIGHBOURING NOTIFICATION PLANS	B
292	NEIGHBOURING NOTIFICATION PLANS	B
401	SHADOW PLAN 22 SEPT - 9AM	B
402	SHADOW PLAN 22 SEPT - 12NOON	B
403	SHADOW PLAN 22 SEPT - 3PM	B
404	SHADOW ANALYSIS	B
410	SUN EYE VIEWS - 21 JUNE - 8am - 9am	B
411	SUN EYE VIEWS - 21 JUNE - 10am - 11am	B
412	SUN EYE VIEWS - 21 JUNE - 12pm - 1pm	B
413	SUN EYE VIEWS - 21 JUNE - 2pm - 3pm	B
414	SUN EYE VIEWS - 21 JUNE - 4pm	B
420	PRIVATE OPEN SPACE AND PERMEABLE AREA PLAN	B
430	FSR / GFA AREA PLANS GROUND FLOOR	B
431	FSR / GFA AREA PLANS FIRST FLOOR	B
720	BASIX REQUIREMENTS	B
721	BASIX REQUIREMENTS	B
800	TYPICAL DETAILS	B

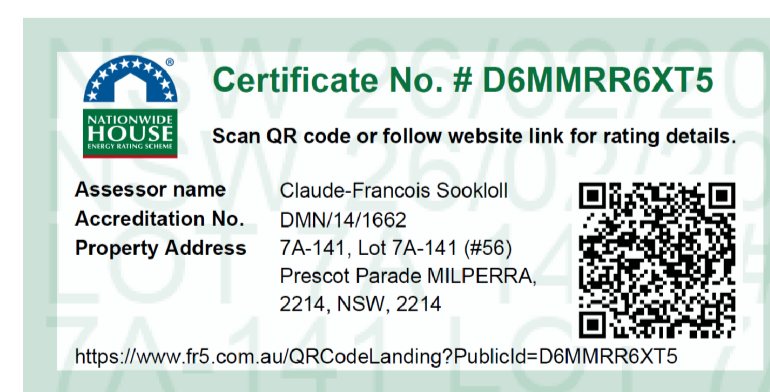


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1

- Milperra Public School - Approx 10 min walk
- East Hills Technology Highschool - Approx 9 min drive
- Liverpool Westfields - Approx 20 min drive
- Sydney City CBD - Approx 30 mins drive
- Parramatta City CBD - Approx 30 min drive
- East Hills Train Station - Approx 7 min drive
- Brighton Lakes Golf Club - Approx 10 min drive



## 2

1:500



1 SUBDIVISION PLAN

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Property Address: 7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA, 2214, NSW, 2214

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**NOTE:**

- VEHICLE CROSSINGS SHOWN ARE INDICATIVE ONLY. PLEASE REFER TO CIVIL ENGINEERING DRAWINGS FOR DETAILED LOCATIONS AND DIMENSIONS.
- REFER TO CIVIL ENGINEERING SET ADDITIONAL INFORMATION ON BOUNDARIES AND LOT LAYOUT

28.02.25	B	ISSUE FOR DA SUBMISSION	
31.01.25	A	ISSUE FOR BASX ASSESSMENT	
	rev		amendment

**MIRVAC DESIGN**

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Asha Verma, Michael Weller, David Hing, Andrew La  
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client:

**mirvac**

project:  
**RIVERLANDS - MILPERRA**  
56 Prescot Parade, Milperra NSW 2214  
stage: 01  
site: 7A

title:  
SUBDIVISION PLAN

job no: MB-10245  
drawing no: 100

date: 28.02.25

scale @ A1: 1 : 200

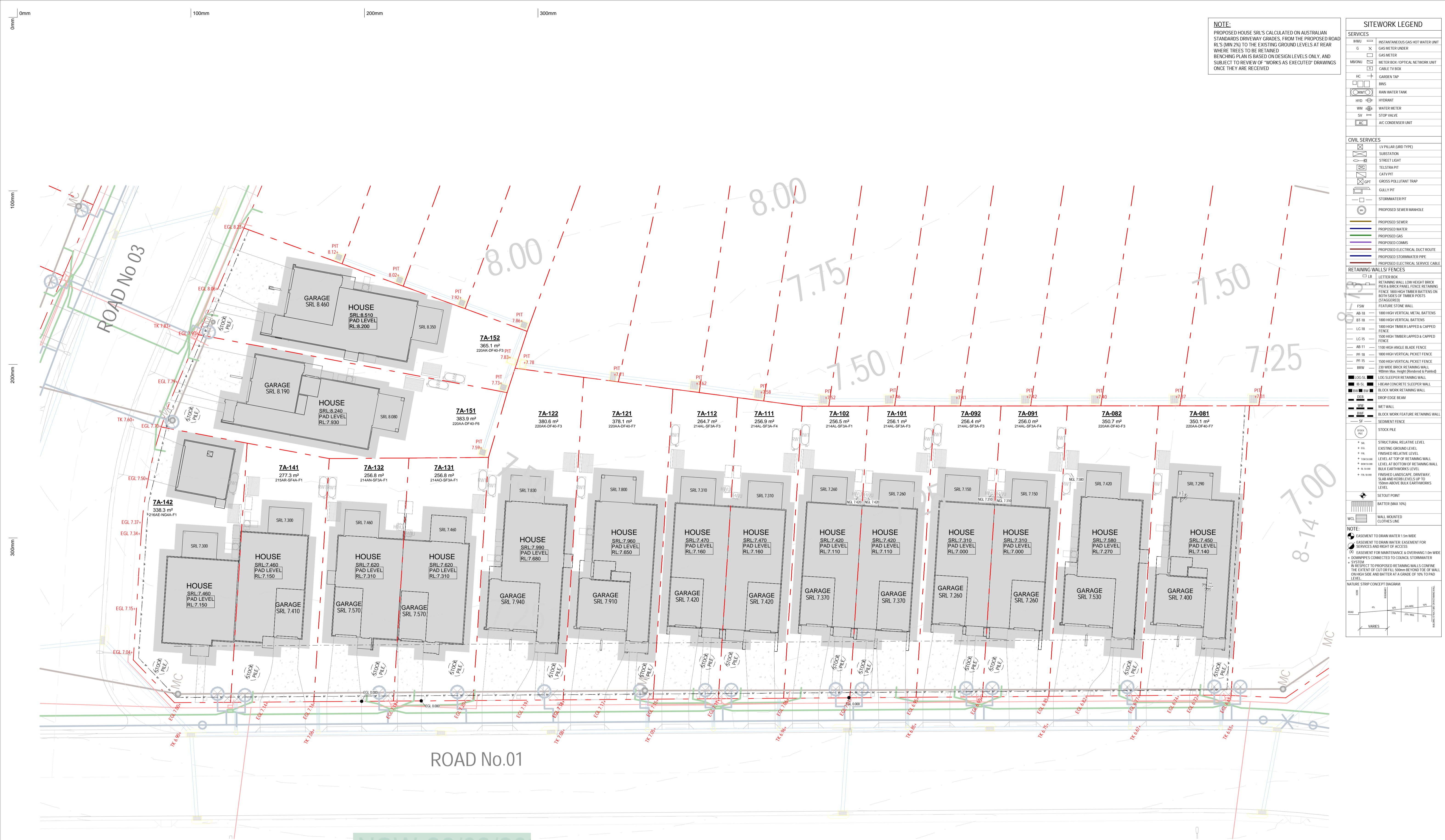
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**NOTE:**  
PROPOSED HOUSE SRL'S CALCULATED ON AUSTRALIAN STANDARDS DRIVEWAY GRADES, FROM THE PROPOSED ROAD RL'S (MIN 2%) TO THE EXISTING GROUND LEVELS AT REAR WHERE TREES TO BE RETAINED.  
BENCHING PLAN IS BASED ON DESIGN LEVELS ONLY, AND SUBJECT TO REVIEW OF "WORKS AS EXECUTED" DRAWINGS ONCE THEY ARE RECEIVED.

SITework LEGEND	
SERVICES	
IBWU	INSTANTANEOUS GAS HOT WATER UNIT
G	GAS METER UNDER
MBOWU	METER BOX / OPTICAL NETWORK UNIT
HC	GARDEN TAP
BWS	RAIN WATER TANK
HYD	HYDRANT
WM	WATER METER
SV	STOP VALVE
AC	A/C CONDENSER UNIT
CIVIL SERVICES	
LV PILLAR (URD TYPE)	
SUBSTATION	
STREET LIGHT	
TELSTRA PIT	
CATV PIT	
GROSS POLLUTANT TRAP	
GULLY PIT	
STORMWATER PIT	
PROPOSED SEWER MANHOLE	
PROPOSED SEWER	
PROPOSED WATER	
PROPOSED GAS	
PROPOSED DUMPS	
PROPOSED ELECTRICAL DUCT ROUTE	
PROPOSED STORMWATER PIPE	
PROPOSED ELECTRICAL SERVICE CABLE	
RETAINING WALLS / FENCES	
LB	LETTER BOX
RETAINING WALL LOW HEIGHT BRICK	
RETAINING WALL HIGH BRICK	
RETAINING WALL 1800 HIGH TIMBER BATTENS ON BOTH SIDES OF TIMBER PILES (STAGGERED)	
FSW	FEATURE STONE WALL
AB-18	1800 HIGH VERTICAL METAL BATTENS
BT-18	1800 HIGH VERTICAL BATTENS
LC-18	1800 HIGH TIMBER LAPPED & CAPPED FENCE
LC-15	1500 HIGH TIMBER LAPPED & CAPPED FENCE
AB-11	1100 HIGH ANGLE BLADE FENCE
PF-18	1800 HIGH VERTICAL PICKET FENCE
PF-15	1500 HIGH VERTICAL PICKET FENCE
BRW	220 WIDE BRICK RETAINING WALL 900mm Max. Height (Rendered & Painted)
LOG-SL	LOG SLEEPER RETAINING WALL
AB-SL	1800 HIGH VERTICAL SLEEPER WALL
BR-SL	220 WIDE BRICK RETAINING WALL 900mm Max. Height (Rendered & Painted)
WET WALL	WET WALL
SEGMENT FENCE	SEGMENT FENCE
STOCK PILE	STOCK PILE
STRUCTURAL RELATIVE LEVEL	
EXISTING GROUND LEVEL	
FINISHED RELATIVE LEVEL	
LEVEL AT TOP OF RETAINING WALL	
LEVEL AT BOTTOM OF RETAINING WALL	
FINISHED LANDSCAPE, DRIVEWAY, SLAB AND KERB LEVELS UP TO 150mm ABOVE BULK EARTHWORKS LEVEL	
SETOUT POINT	
BATTER (MAX 10%)	
WALL MOUNTED CLOTHES LINE	
NOTE:	
EASEMENT TO DRAIN WATER 1.5m WIDE	
EASEMENT TO DRAIN WATER EASEMENT FOR SERVICES AND RIGHT OF ACCESS	
EASEMENT FOR MAINTENANCE & OVERHANG 1.0m WIDE	
DOWNPIPES CONNECTED TO COUNCIL STORMWATER SYSTEM	
IN RESPECT TO PROPOSED RETAINING WALLS CONTINUE THE EXISTING OF CUT OR FILL 500mm BEYOND FACE OF WALL ON HIGH SIDE AND BATTER AT A GRADE OF 10% TO PAD LEVEL	
NATURE STRIP CONCEPT DIAGRAM	
ROAD	
VARIES	

1 BENCHING PLAN - EROSION & SEDIMENT CONTROL  
1:200

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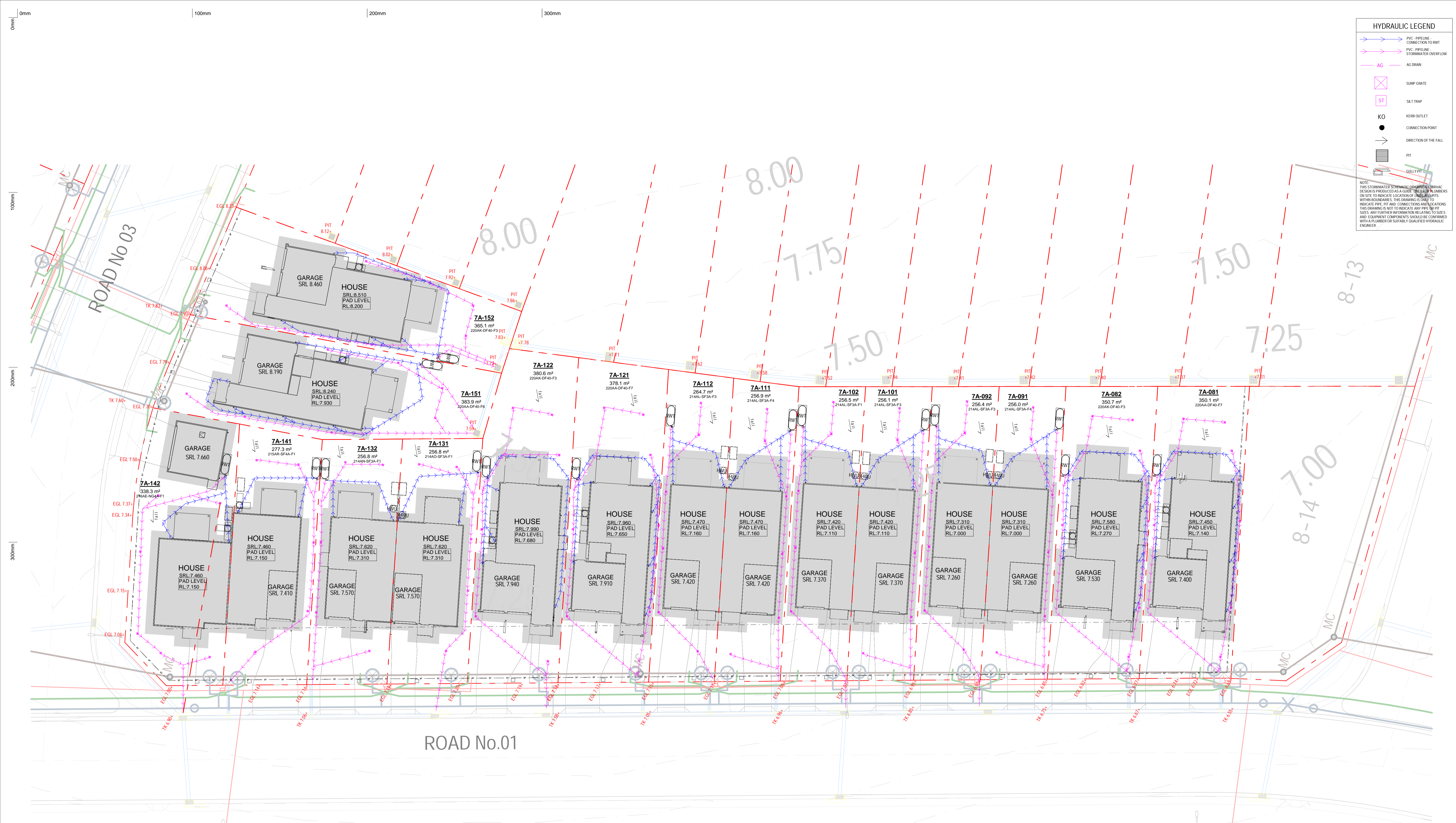


project:  
**RIVERLANDS - MILPERRA**  
56 Prescot Parade, Milperra NSW 2214  
stage: 01  
site: 7A

title:  
**EROSION & SEDIMENT CONTROL PLAN**

job no: MB-10245  
drawing no: 110

date: 28.02.25  
stage: 01  
site: 7A  
scale @ A1: 1:200  
rev: B



**HYDRAULIC LEGEND**

- PVC PIPELINE CONNECTION TO RWT
- PVC PIPELINE STORMWATER OVERFLOW
- AG AG DRAIN
- SG SUMP GRATE
- ST SILT TRAP
- KO KERB OUTLET
- CONNECTION POINT
- DIRECTION OF THE FALL
- PIT
- GULLY PIT

NOTE: THIS STORMWATER SCHEMATIC DRAWING BY MIRVAC DESIGN IS PRODUCED AS A GUIDE ONLY. MIRVAC DESIGN ON SITE TO INDICATE LOCATION OF THE GULLY PIT WITHIN BOUNDARIES. THIS DRAWING IS ONLY TO INDICATE PIPE PIT AND CONNECTION LOCATIONS. THIS DRAWING IS NOT TO INDICATE ANY PIPE OR PIT SIZES. ANY FURTHER INFORMATION RELATING TO SIZES AND EQUIPMENT COMPONENTS SHOULD BE CONFIRMED WITH A PLUMBER OR SUITABLY QUALIFIED HYDRAULIC ENGINEER.

1 HYDRAULIC CONCEPT PLAN  
1:200

**Certificate No. # D6MMRR6XT5**

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client

**mirvac**

project:  
**RIVERLANDS - MILPERRA**  
56 Prescot Parade, Milperra NSW 2214  
stage: 01  
site: 7A

title:  
**HYDRAULIC CONCEPT PLAN**

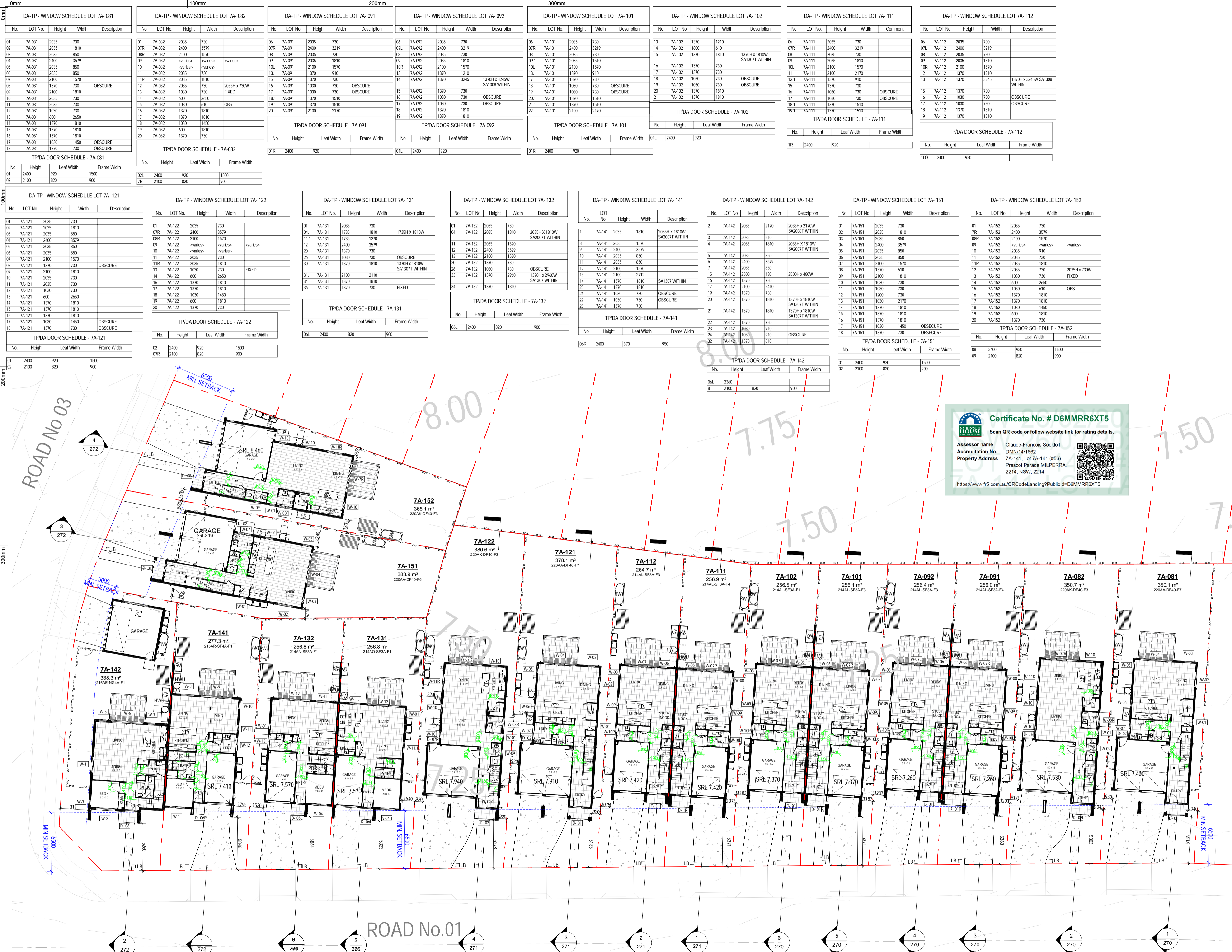
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drawing no: 120

date: 28.02.25

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# AREA SCHEDULE - SITE 7A GROSS

0	Lot No	Name	Area
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7A-081	Ground Floor	83.6 m²
7A-081	First Floor	112.4 m²
7A-081	Garage	34.2 m²
7A-081	Patio	12.0 m²
7A-081	Balcony	7.3 m²
7A-081	Porch	3.3 m²
		252.9 m²

7A-082	Ground Floor	84.3 m²
7A-082	First Floor	111.9 m²
7A-082	Garage	34.3 m²
7A-082	Patio	12.0 m²
7A-082	Balcony	6.9 m²
7A-082	Porch	3.0 m²
		252.5 m²

7A-091	Ground Floor	69.8 m²
7A-091	First Floor	74.2 m²
7A-091	Garage	22.8 m²
7A-091	Patio	12.2 m²
7A-091	Balcony	5.0 m²
7A-091	Porch	3.3 m²
		187.4 m²

7A-101	Ground Floor	70.3 m²
7A-101	First Floor	74.2 m²
7A-101	Garage	22.7 m²
7A-101	Patio	12.2 m²
7A-101	Balcony	5.0 m²
7A-101	Porch	2.9 m²
		187.3 m²

7A-102	Ground Floor	69.8 m²
7A-102	First Floor	74.8 m²
7A-102	Garage	22.3 m²
7A-102	Patio	12.3 m²
7A-102	Porch	2.7 m²
		181.9 m²

7A-111	Ground Floor	69.8 m²
7A-111	First Floor	74.8 m²
7A-111	Garage	22.6 m²
7A-111	Patio	12.1 m²
7A-111	Balcony	5.2 m²
7A-111	Porch	2.7 m²
		187.9 m²

7A-112	Ground Floor	69.8 m²
7A-112	First Floor	75.3 m²
7A-112	Garage	22.3 m²
7A-112	Patio	12.2 m²
7A-112	Porch	3.4 m²
		182.4 m²

7A-121	Ground Floor	83.6 m²
7A-121	First Floor	112.5 m²
7A-121	Garage	34.3 m²
7A-121	Patio	12.0 m²
7A-121	Balcony	7.2 m²
7A-121	Porch	3.3 m²
		252.9 m²

7A-122	Ground Floor	84.3 m²
7A-122	First Floor	111.9 m²
7A-122	Garage	34.3 m²
7A-122	Patio	12.0 m²
7A-122	Balcony	6.9 m²
7A-122	Porch	3.1 m²
		252.4 m²

7A-131	Ground Floor	70.6 m²
7A-131	First Floor	72.3 m²
7A-131	Garage	19.0 m²
7A-131	Patio	12.0 m²
7A-131	Balcony	5.7 m²
7A-131	Porch	2.2 m²
		181.8 m²

7A-132	Ground Floor	70.2 m²
7A-132	First Floor	75.7 m²
7A-132	Garage	19.3 m²
7A-132	Patio	12.0 m²
7A-132	Porch	2.2 m²
		179.0 m²

7A-141	Ground Floor	77.3 m²
7A-141	First Floor	77.9 m²
7A-141	Garage	19.3 m²
7A-141	Patio	12.0 m²
7A-141	Balcony	5.2 m²
7A-141	Porch	1.6 m²
		193.3 m²

7A-142	Ground Floor	83.8 m²
7A-142	First Floor	82.5 m²
7A-142	Garage	35.9 m²
7A-142	Patio	12.0 m²
7A-142	Balcony	8.4 m²
7A-142	Porch	3.0 m²
		225.6 m²

7A-151	Ground Floor	83.6 m²
7A-151	First Floor	113.5 m²
7A-151	Garage	34.2 m²
7A-151	Patio	12.0 m²
7A-151	Balcony	4.3 m²
7A-151	Porch	3.3 m²
		251.0 m²

7A-152	Ground Floor	84.5 m²
7A-152	First Floor	111.9 m²
7A-152	Garage	34.3 m²
7A-152	Patio	12.0 m²
7A-152	Balcony	6.9 m²
7A-152	Porch	3.1 m²
		252.6 m²

# FLOOR PLAN LEGEND

220	DOOR SIZE LABEL - REFER PLAN FOR SETS
720L	DOOR SIZE LABEL - DOOR WITH LIFT OFF HINGES
350P	200mm ENGAGED BRICK PIERS @ 1500 CENTRES MAX
BAL	BALUSTRADE
BH	BULKHEAD OVER
BO	STRUCTURAL BEAM TO ENGINEER'S DETAIL
CB	CUT BRICK DOOR
CSO	CANTY SLIDER DOOR
DP	DOWN PIPE
DPS	DOWN PIPE & SPREADER
F1	ASSIGNED FLOOR JOIST DIRECTION
FBW	FACE BRICK WORK
FSW	FEATURE STONE WALL
HL	HEAD OF OPENING - HEIGHT AS NOTED
HLR	HANDRAIL - 1000mm HIGH MIN.
LWO	LINE OF WALL OVER
LWC	LIGHTWEIGHT CLADDING BOARDS
ML	CEILING MANHOLE
MR	META. ROOF - PITCH AS NOTED
PC	PORCELAIN TILES
PMP	PAINTED MASONRY PRODUCT
RPMP	RECESSED PAINTED MASONRY PRODUCT
SL	SUNLIGHT
SN	SHOWER NICHE

[S]	SMOKE ALARM
SD	STEPOVER
SP	STRUCTURAL POST TO ENGINEER'S DETAIL
TP	TIMBER POST - SIZE AS NOTED
TR	TILED ROOF - PITCH AS NOTED
VJ	VERTICAL JOINT
+	HOSE COCK RECYCLE
-	HOSE COCK

NOTES:  
• MANHOLE POSITIONS TO BE DETERMINED BY SITE MANAGER  
• ALL DOWNPIES NEAR BUILDING CORNERS ARE TO BE INSTALLED @ 300mm TO THE DOWNPIPE CENTRE WHERE POSSIBLE - UNLESS NOTED OTHERWISE  
• ANY DOWNPIPE WITH 650mm FROM A BOUNDARY MUST BE INSTALLED TO THE BOUNDARY

# SERVICES ABBREVIATIONS

AC	AIRCON CONDENSER
ACD	AIRCON DUCT
ACE	AIRCON EXHAUST
CM	GAS METER
HWU	INSTANTANEOUS GAS HOT WATER UNIT
MR	ELECTRICAL METER BOX
WTC	WATER TANK CONTROL BOX
C	CLOAK CUPBOARD
L	LINEN
ST	SERVICE STACK
WM	WATER METER
CT	COOKTOP
DW	DISH WASHER
DS	DREYER SPACE
FS	FREE STANDING COOKER
MW	MICROWAVE SPACE
P	PANTRY
R	REFRIGERATOR SPACE
RH	RANGEHOOD
UBO	UNDER BENCH OVEN
WD	WALL OVEN
WMS	WASHING MACHINE SPACE
PCD	PREMISES CONNECTION DEVICE
NBN	NATIONAL BROADBAND NETWORK

FRAMER NOTE:  
ALL FLOOR JOISTS TO BE KEPT CLEAR OF AC DROPPER BRACING. TRUSS DESIGN TO ALLOW FOR INSTALLATION OF AC UNIT

# BALUSTRADE NOTES:

INTERNAL STAIRS:  
BALUSTRADE HANDRAIL TO BE CONTINUOUS ON FLIGHT IN ACCORDANCE WITH BCA REQUIREMENT.

EXTERNAL BALUSTRADES:  
ALL HANDRAILS & BALUSTRADES TO BE INSTALLED AT HEIGHTS IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS

WINDOW NOTE:  
WINDOW FRAMES, GLAZING & ASSOCIATED MATERIAL SHOULD BE TO MANUFACTURER'S SPECIFICATIONS. MANUFACTURER TO CERTIFY DESIGN COMPLIANCE WITH NCC & APPLICABLE AUSTRALIAN STANDARDS. REFER TO EXTERNAL FINISHES SCHEDULE FOR COLOUR SELECTION. OPENING RESTRICTORS FITTED. THESE RESTRICTORS SHALL LIMIT THE OPENING TO 125MM MAX.

ALL DOORS AND WINDOWS TO COMPLY WITH AS 3959 - 2018 - CONSTRUCTION STANDARDS FOR BUILDINGS IN BUSHFIRE PRONE AREAS.

UNLABLE HOUSES:  
THESE DESIGNS MEET COUNCIL'S CONTROLS AS OUTLINES IN SECTION 11.1 UNLABLE HOUSES OF THE RESIDENTIAL ACCOMMODATION DEVELOPMENT.

INDICATES WALL WITH REINFORCEMENT TO BE INSTALLED FOR FUTURE GARAGES  
GREEN DIMENSIONS INDICATE MINIMUM CLEARANCES



LEGEND - ROOF PLAN	
	RAISED SOFFIT
	FIRE RATED EAVE
ABBREVIATIONS	
DP	DOWN PIPE
DPS	DOWN PIPE & SPREADER
DP-100	DOWN PIPE 100mm DIAMETER
MR	METAL ROOF - PITCH AS NOTED
TR	TILED ROOF - PITCH AS NOTED
PG	PERGOLA
SHWP	SOLAR HOT WATER PANEL
RAWH	RAIN WATER HEAD
SL	SKY LIGHT
SP	SOLAR PANELS
EXNR	ROOF VENTILATION SYSTEM
#	PURCHASER OPTION
* ALL DOWNPIPES NEAR BUILDING CORNERS ARE TO BE INSTALLED @ 300mm TO THE DOWNPipe CENTRE WHERE POSSIBLE - UNLESS NOTED OTHERWISE	
* ANY DOWNPipe WITHIN 450mm FROM A BOUNDARY MUST BE OF A NON-COMBUSTIBLE MATERIAL	



1 ROOF PLAN  
1:200

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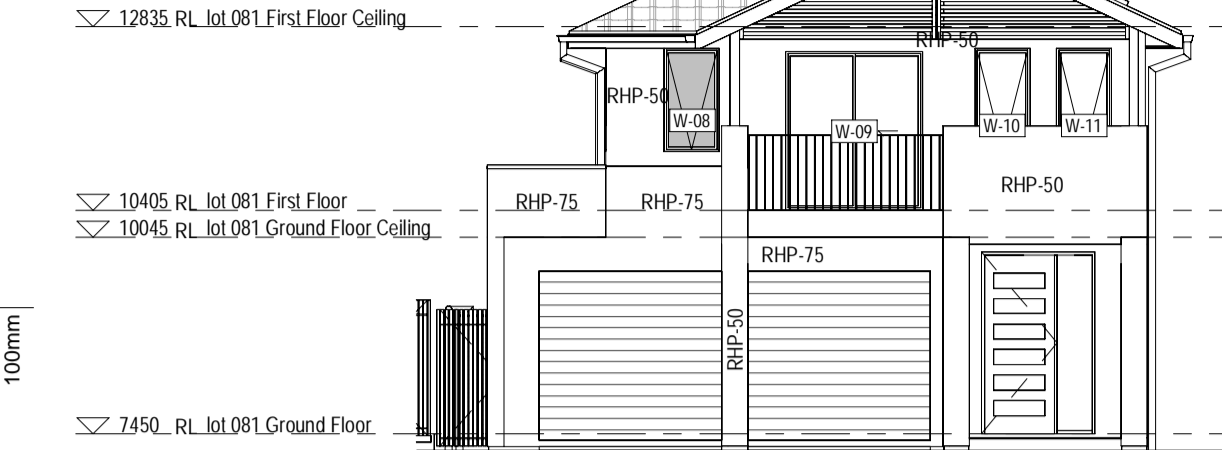
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100mm

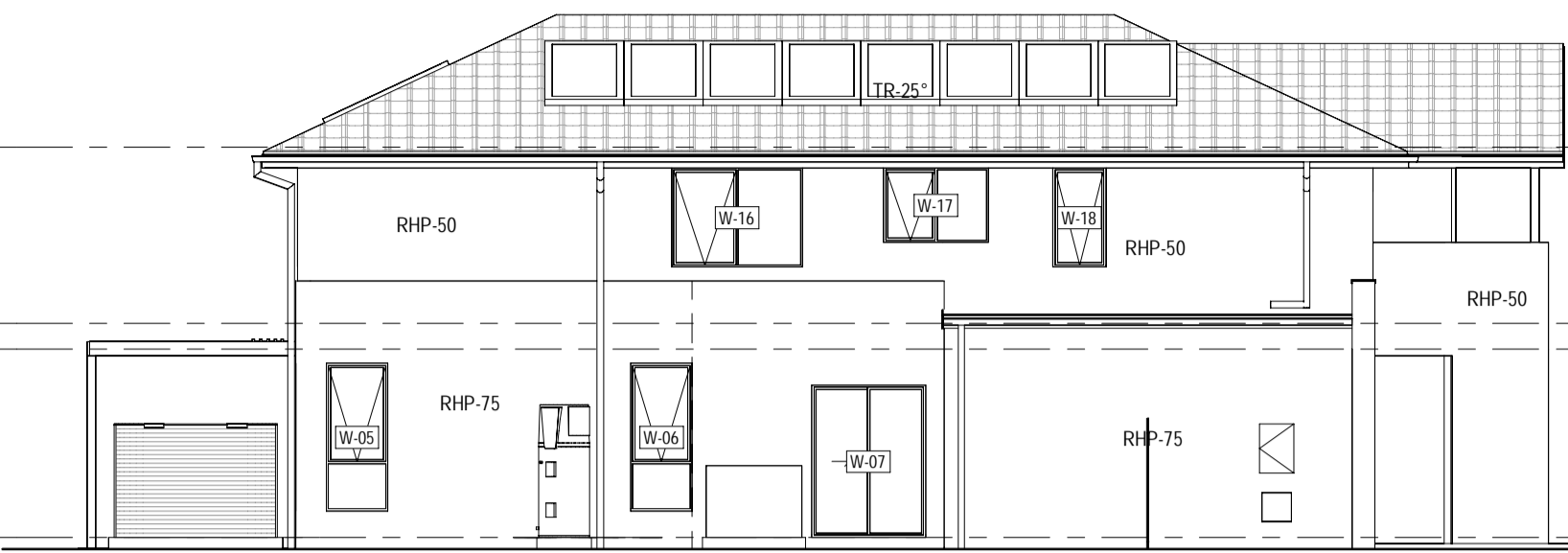
200mm

300mm

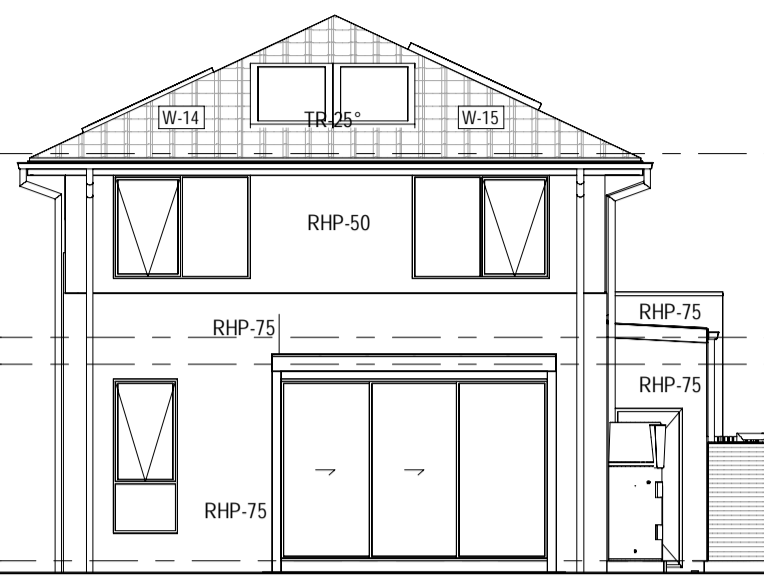
EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE.	
FBW	FACE BRICKWORK
RBW	RENDERED BRICKWORK
RHP-75	RENDERED HEBEL PANEL 75
RHP-50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RB TIMBER LOOK
TL	TILE FEATURE CLADDING
LWC-H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING



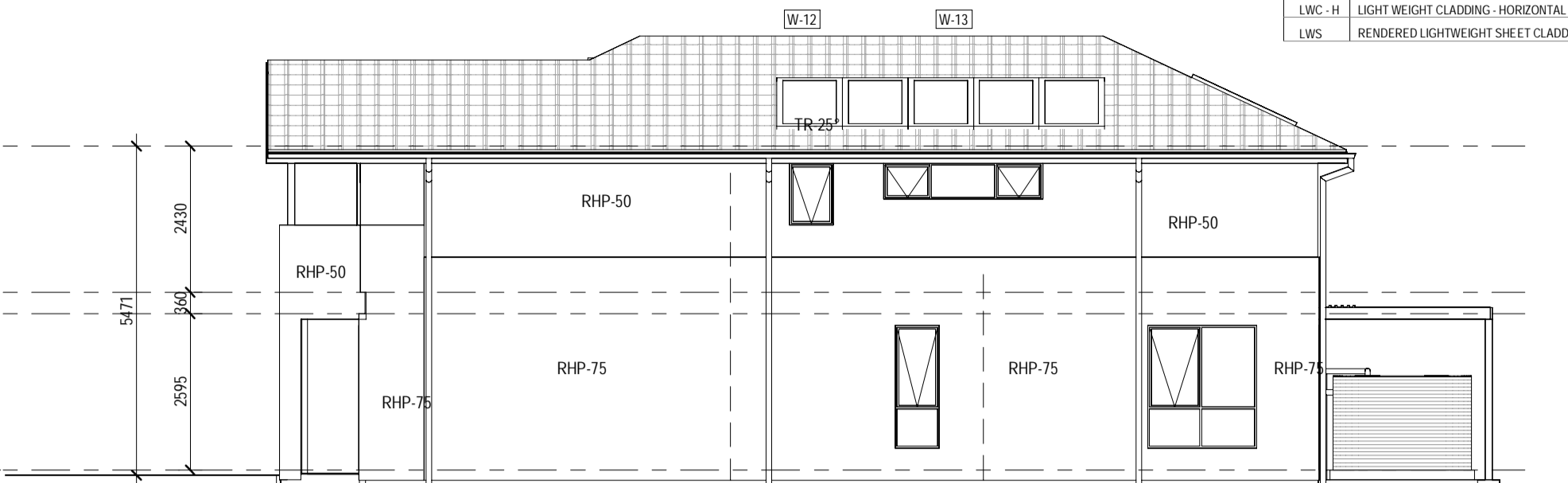
1 LOT 081 FRONT ELEVATION



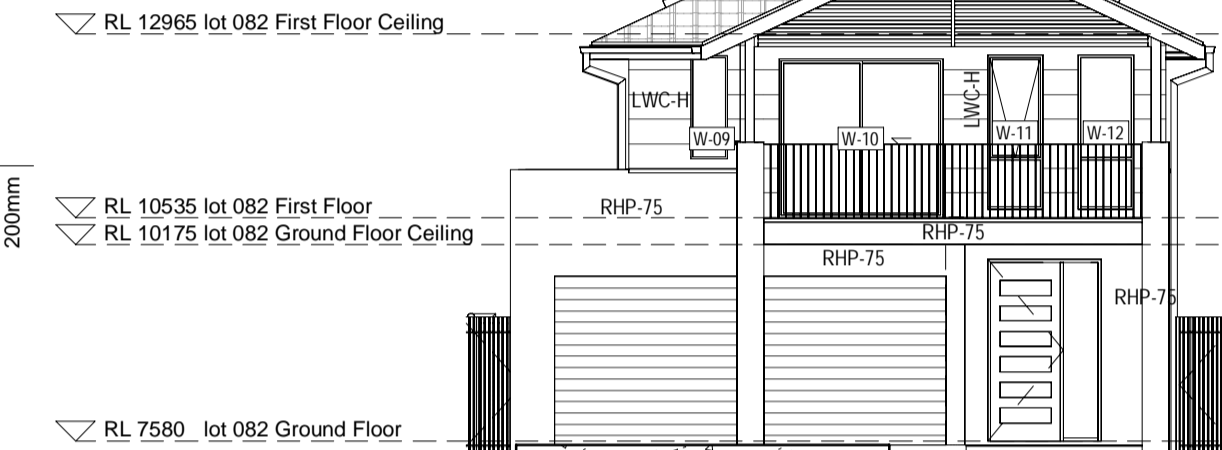
2 LOT 081 SIDE A ELEVATION



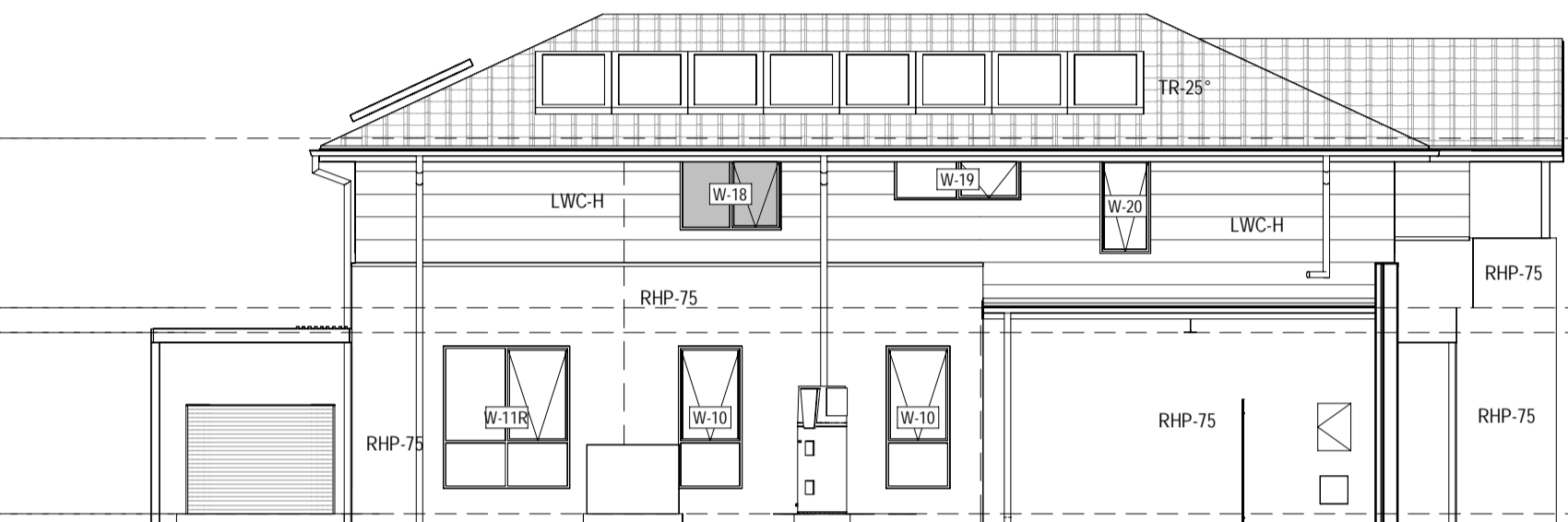
3 LOT 081 REAR ELEVATION



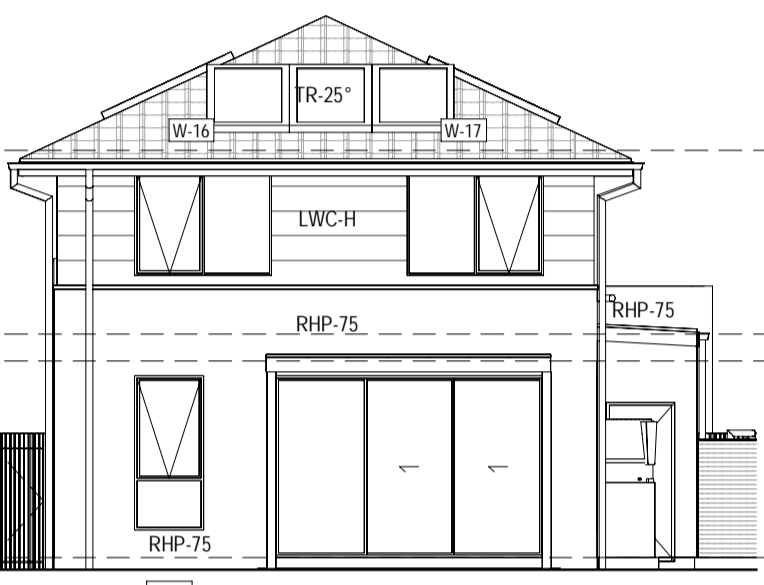
4 LOT 081 SIDE B ELEVATION



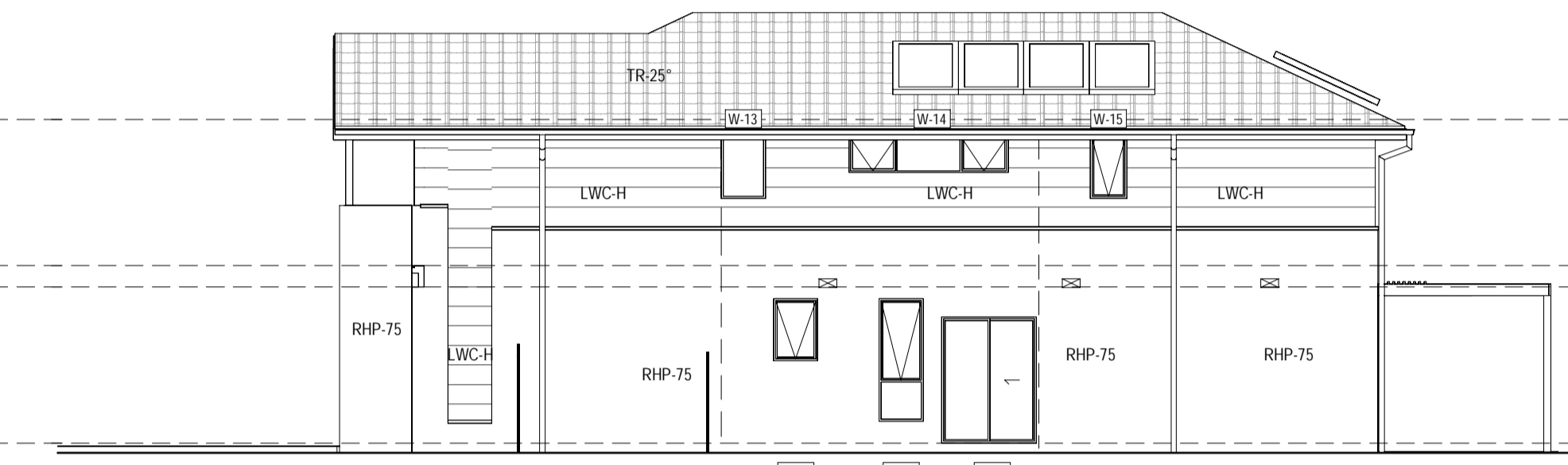
5 LOT 082 FRONT ELEVATION




7 LOT 082 SIDE A ELEVATION



6 LOT 082 REAR ELEVATION



8 LOT 082 SIDE B ELEVATION




**Certificate No. # D6MMRR6XT5**

Scan QR code or follow website link for rating details.

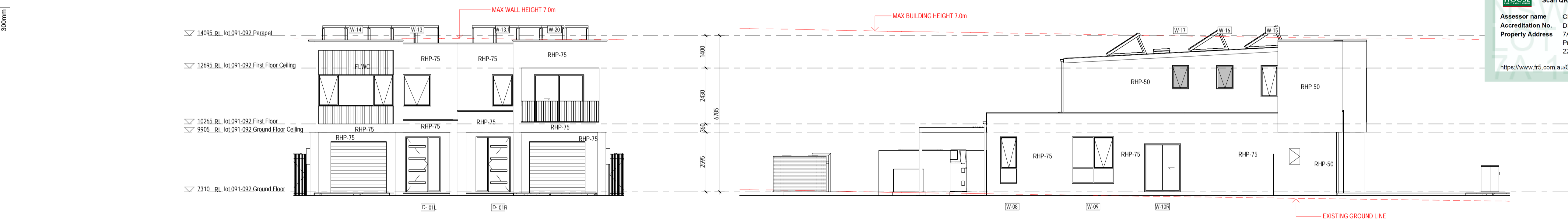
Assessor name  
Accreditation No.  
Property Address

Claude-Francois Sockkoi  
DMN/14/1662  
7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA,  
2214, NSW, 2214

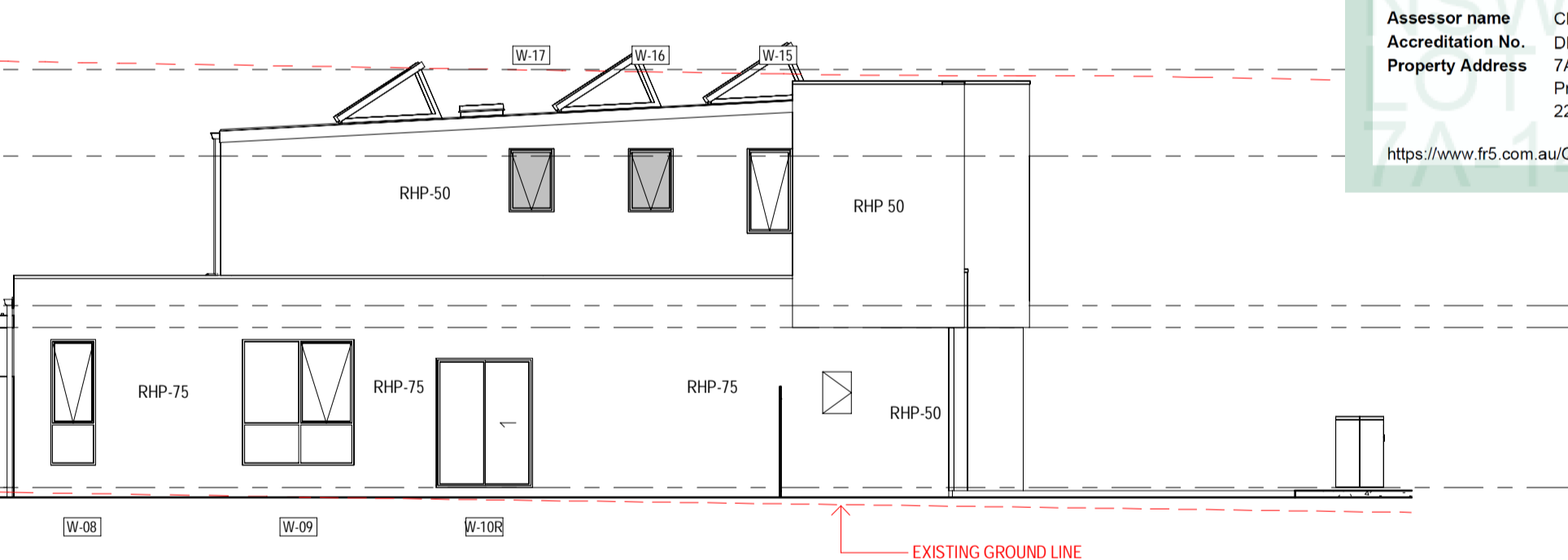
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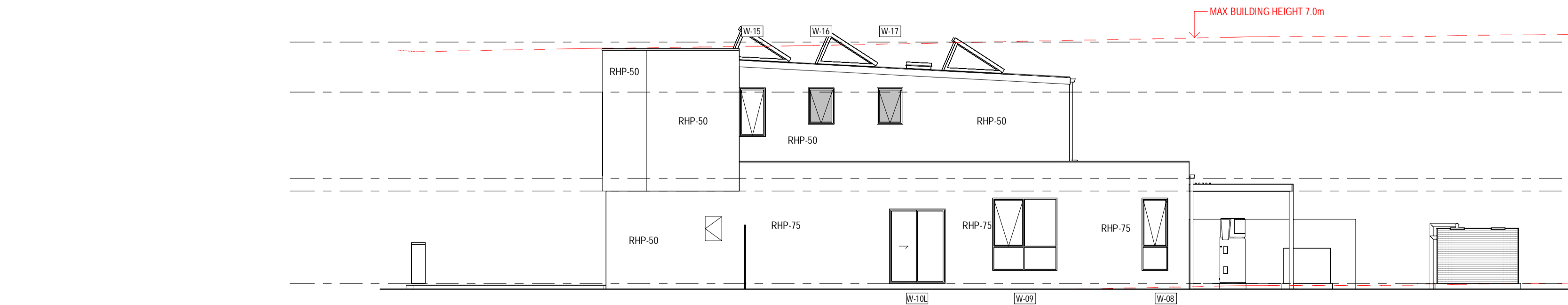
300mm



9 LOT 092-091 FRONT ELEVATION



10 LOT 092 SIDE ELEVATION



11 LOT 091 SIDE ELEVATION



12 LOT 092-091 REAR ELEVATION

28.02.25  
31.01.25  
date

B  
A  
rev

ISSUE FOR DA SUBMISSION  
ISSUE FOR BASIX ASSESSMENT

amendment

**MIRVAC DESIGN**  
Level 18, 108 George St  
Sydney NSW 2000  
Tel: 02 9469 8800  
Mirvac Design Pty Ltd  
ABN 76 001 199 153  
Mirvac Design Nominees (Responsible Architects)  
Aislinn Venn, Michael Weller, David Hogg, Andrew La  
<http://www.mirvacdesign.com/nominees-and-architects>

client  
**mirvac**

project:  
**RIVERLANDS - MILPERRA**  
56 Prescot Parade, Milperra NSW 2214  
stage: 01  
site: 7A

title:  
**ELEVATIONS LOTS 081 -092**

job no: MB-10245  
drawing no: 260

date: 28.02.25

scale @ A1: 1 : 100

rev: B

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0mm

100mm

200mm

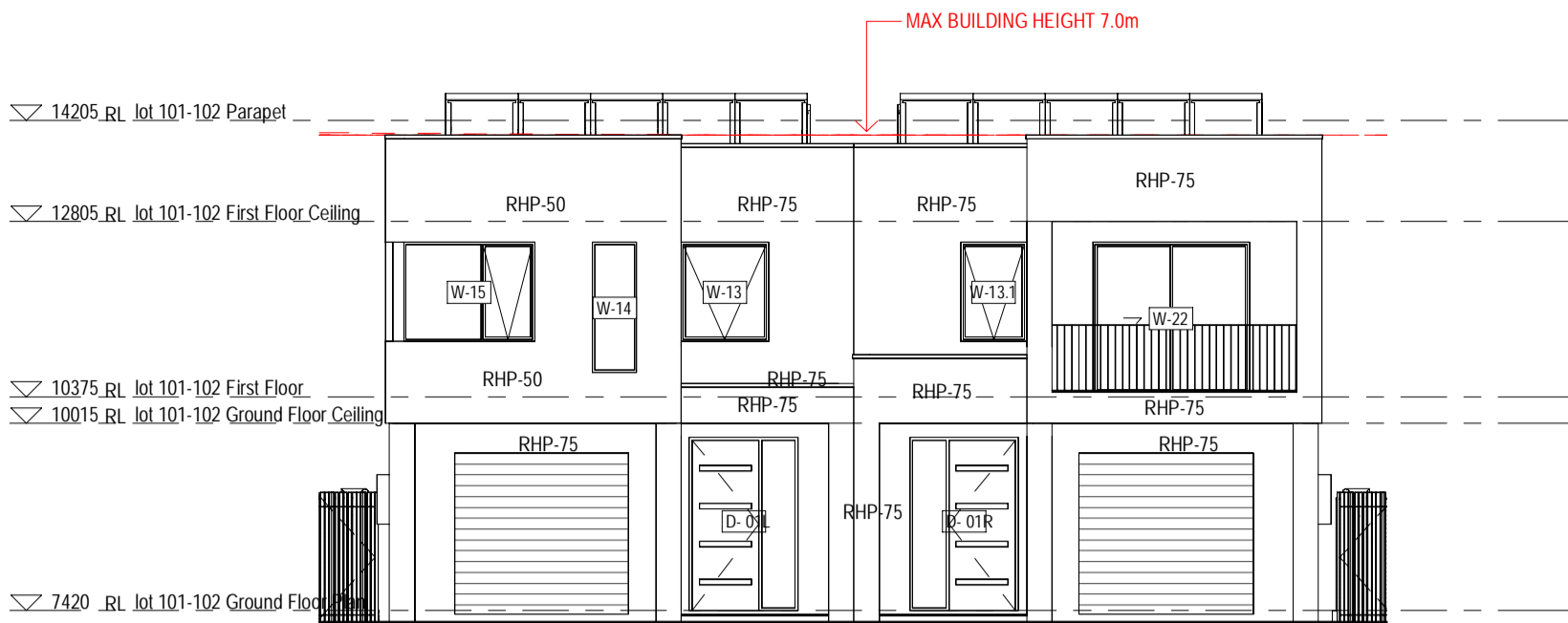
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EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
FBW	FACE BRICKWORK
RBW	RENDERED BRICKWORK
RHP-75	RENDERED REBEL PANEL 75
RHP-50	RENDERED REBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL REBEL LOOK
TL	TILE FEATURE CLADDING
LWC-H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING

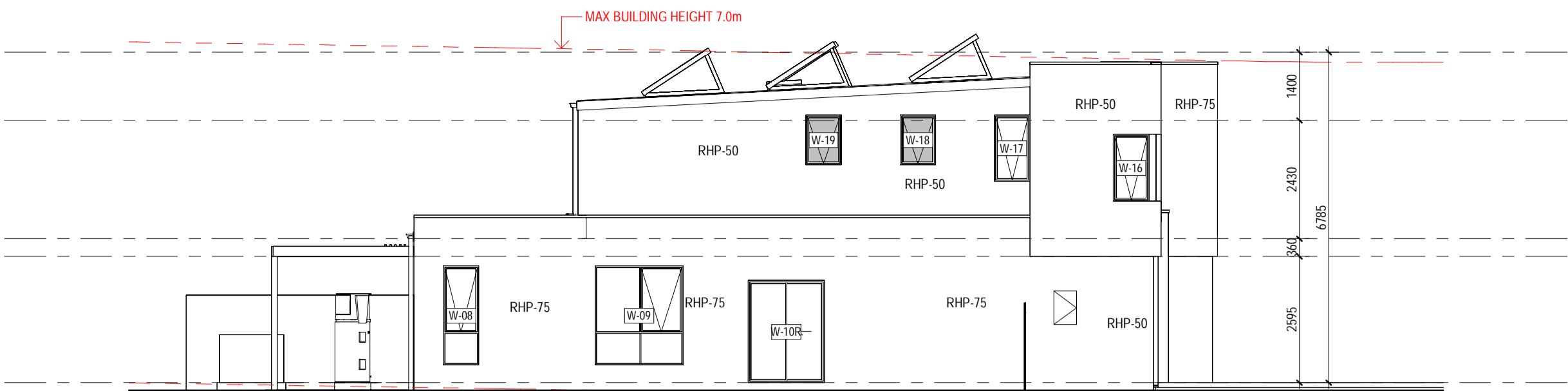
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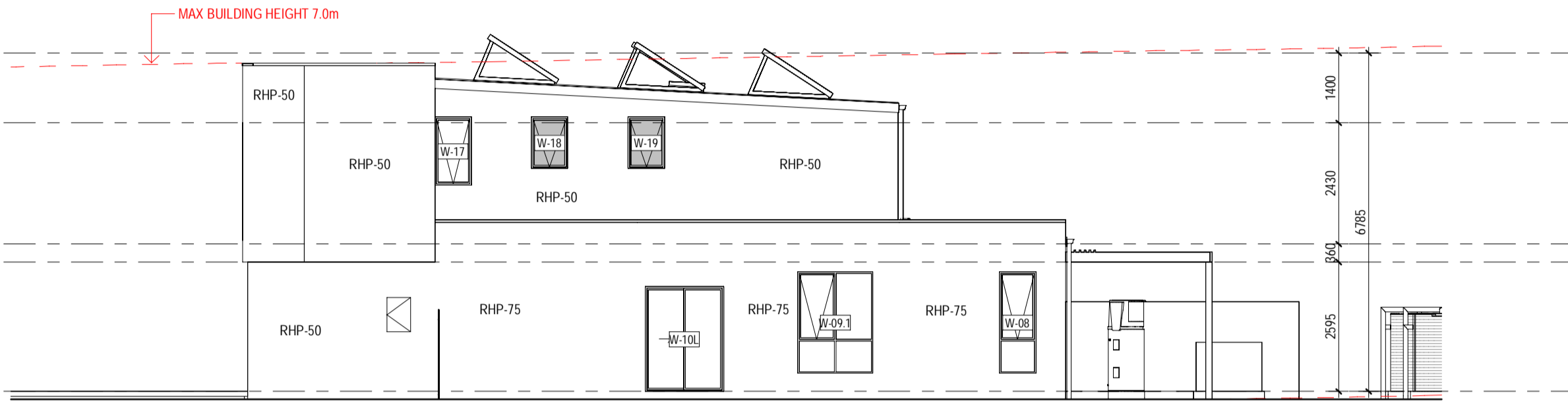
1 LOT 101-102 FRONT ELEVATION



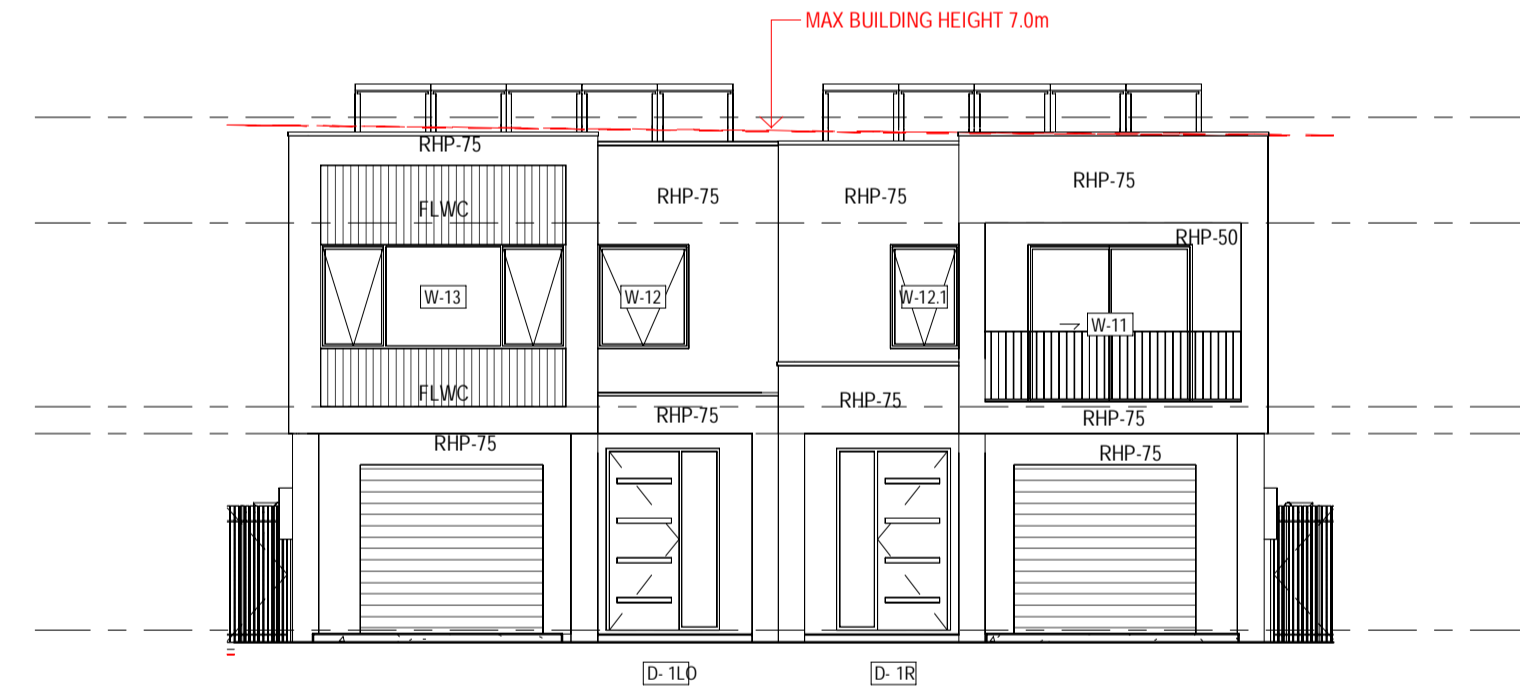
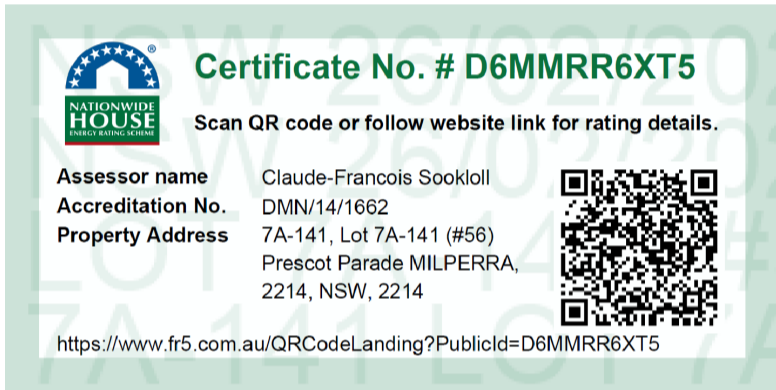
2 LOT 102 SIDE ELEVATION



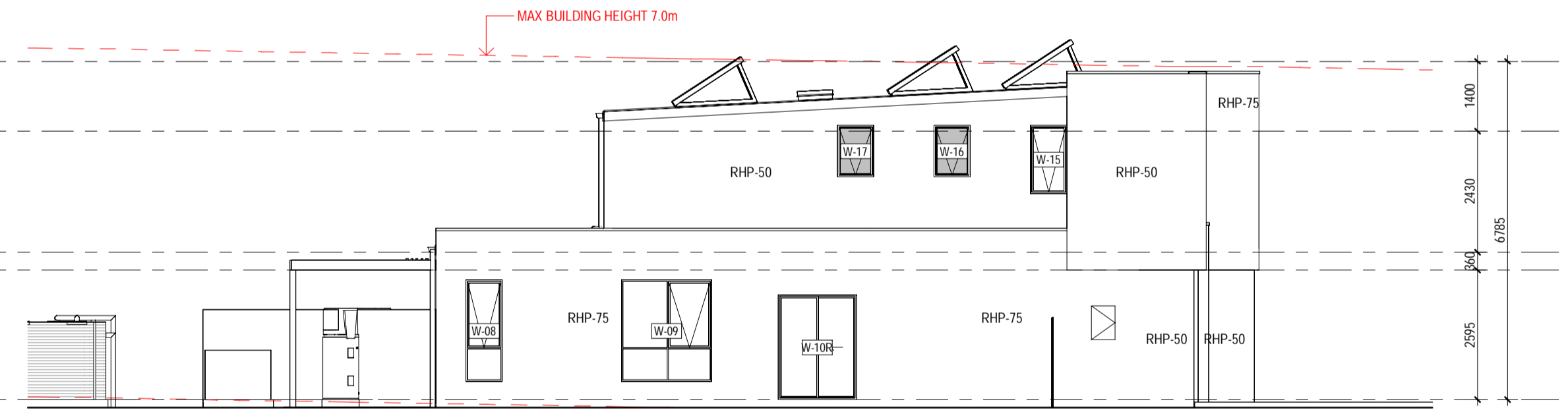
3 LOT 101-102 REAR ELEVATION



4 LOT 101 SIDE ELEVATION



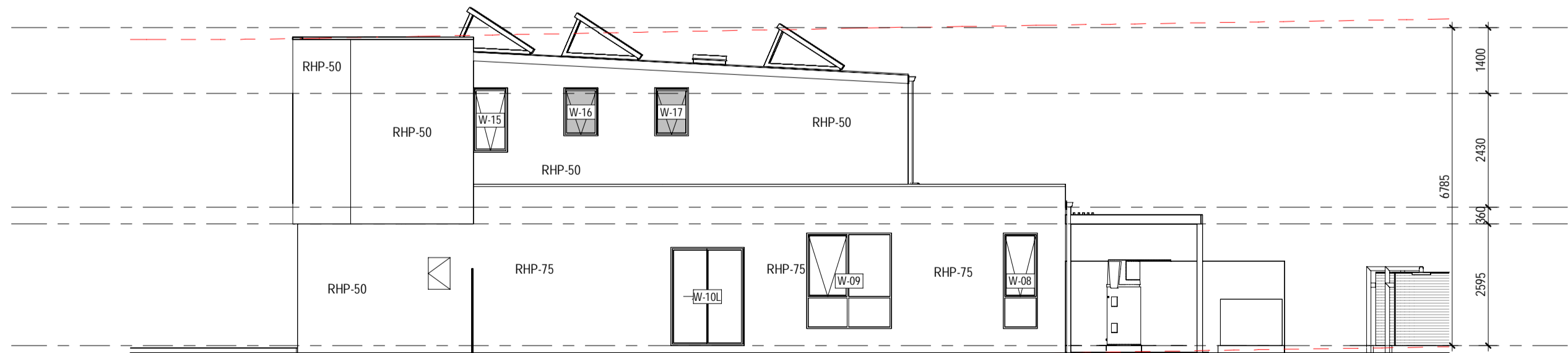
8 LOT 112-111 FRONT ELEVATION



7 LOT 112 SIDE ELEVATION



6 LOT 111-112 REAR ELEVATION



5 LOT 111 SIDE ELEVATION

28.02.25  
31.01.25  
date

B  
A  
rev

ISSUE FOR DA SUBMISSION  
ISSUE FOR BASX ASSESSMENT

amendment

**MIRVAC DESIGN**  
Level 18, 108 George St  
Sydney NSW 2000  
T: 02 9460 8800  
M: 02 9460 8800  
www.mirvacdesign.com.au

Mirvac Design Pty Ltd  
ABN 16 001 199 153  
Mirvac Design Nominees / Responsible Architects:  
Aislinn O'Connell, Michael Weller, David Hogg, Andrew La  
http://www.mirvacdesign.com/nominated\_architects

client:  
**mirvac**

project:  
**RIVERLANDS - MILPERRA**  
56 Prescot Parade, Milperra NSW 2214  
stage: 01  
site: 7A

title:  
**ELEVATIONS LOTS 101 - 112**

job no: MB-10245  
drawing no: 261

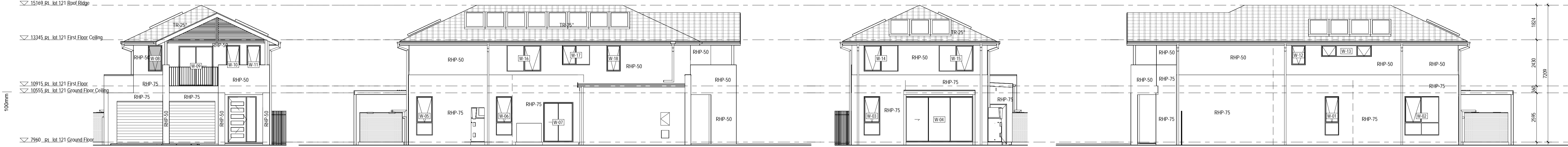
date: 28.02.25

scale @ A1: 1 : 100

rev: B

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EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
FBW	FACE BRICKWORK
RBW	RENDERED BRICKWORK
RHP-75	RENDERED HEBEL PANEL 75
RHP-50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RB TIMBER LOOK
TL	TILE FEATURE CLADDING
LWC-H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING

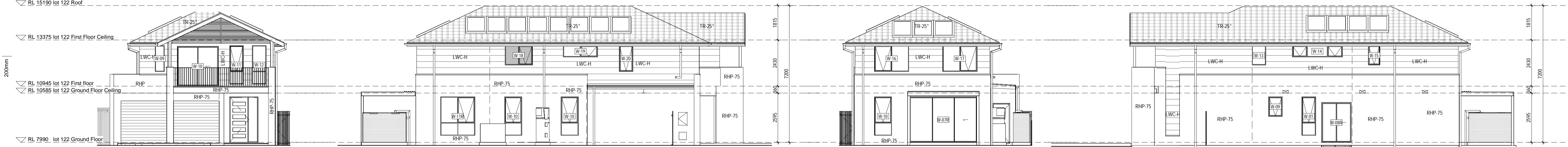


1 LOT 121 FRONT ELEVATION

2 LOT 121 SIDE A ELEVATION

3 LOT 121 REAR ELEVATION

4 LOT 121 SIDE B ELEVATION

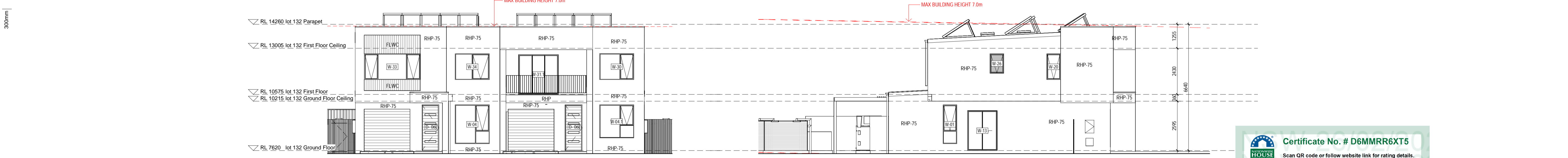


5 lot 122 FRONT ELEVATION

6 LOT 122 SIDE A ELEVATION


7 LOT 122 REAR ELEVATION

8 LOT 122 SIDE B ELEVATION



9 LOT 132-131 FRONT ELEVATION

10 LOT 132 SIDE ELEVATION

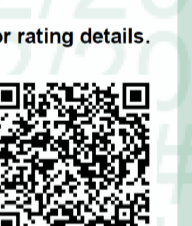


**Certificate No. # D6MMRR6XT5**

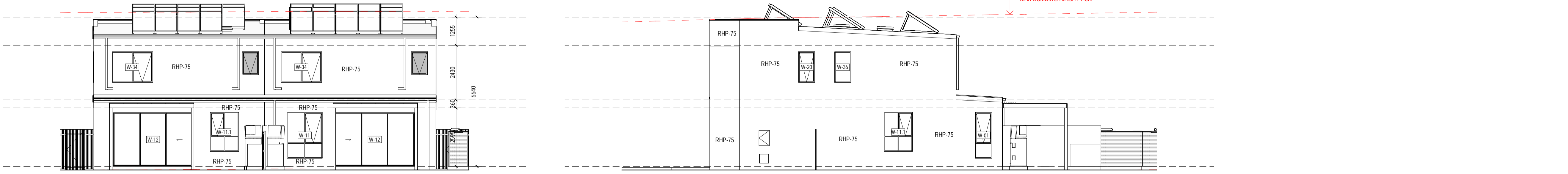
Scan QR code or follow website link for rating details.

Assessor name  
Accreditation No.  
Property Address

Claude-Francois Sookkoll  
DMN/14/1662  
7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA,  
2214, NSW, 2214



<https://www.f5.com.au/QRCodeLanding?PublicId=D6MMRR6XT5>



11 lot 132-131 REAR ELEVATION

12 LOT 131 SIDE ELEVATION

0mm

100mm

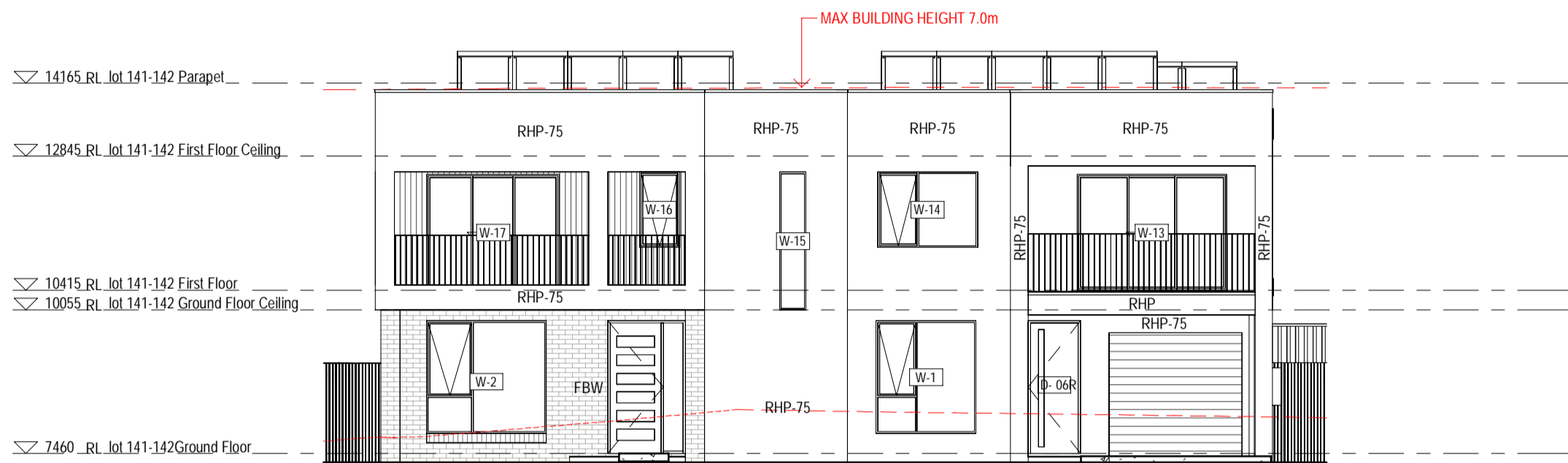
200mm

300mm

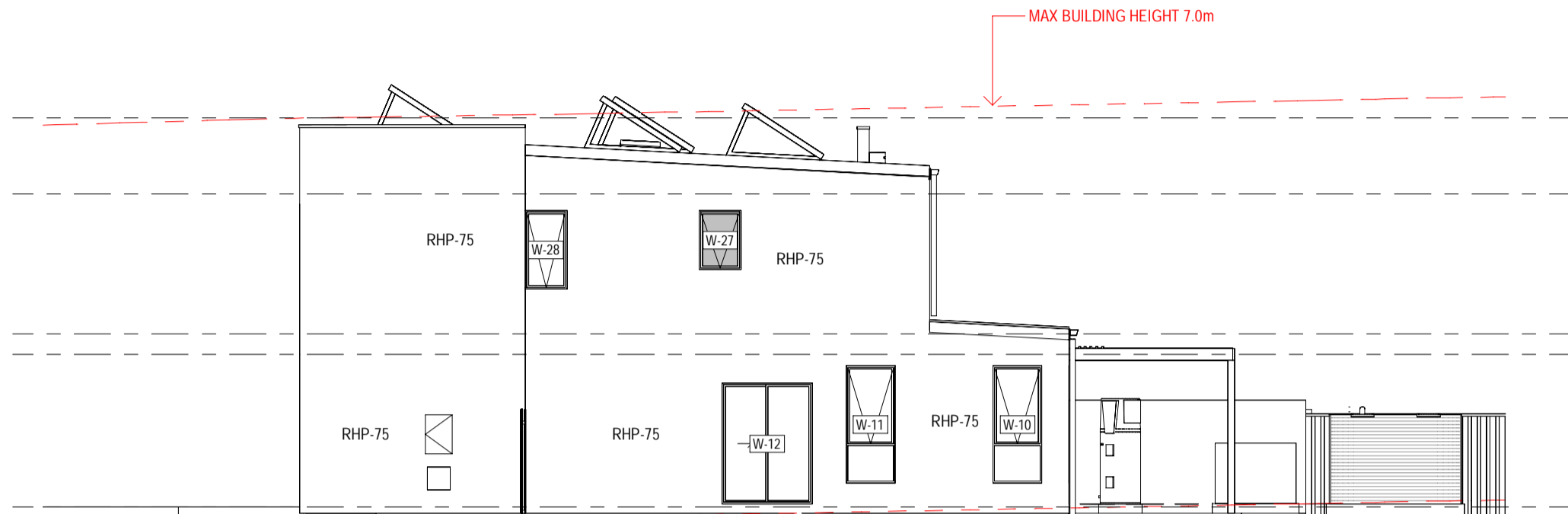
EXTERNAL FINISHES WALL TYPE	
EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
FBW	FACE BRICKWORK
RBW	RENDERED BRICKWORK
RHP-75	RENDERED HEBEL PANEL 75
RHP-50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RB TIMBER LOOK
TL	TILE FEATURE CLADDING
LWC-H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING

100mm

200mm



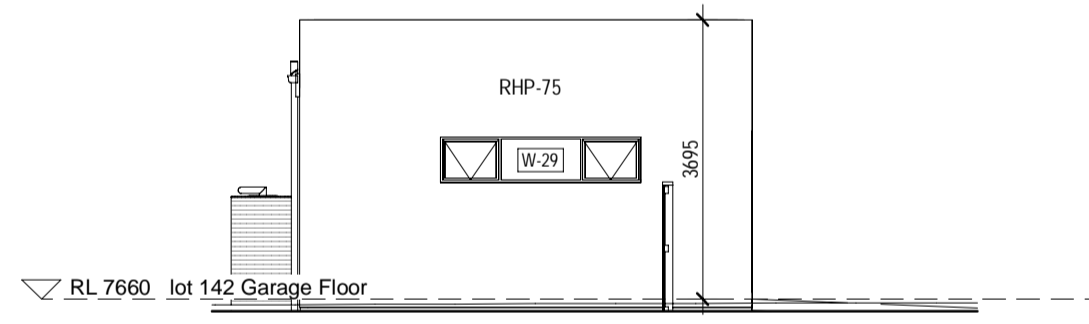
1 LOT 142-141 FRONT ELEVATION



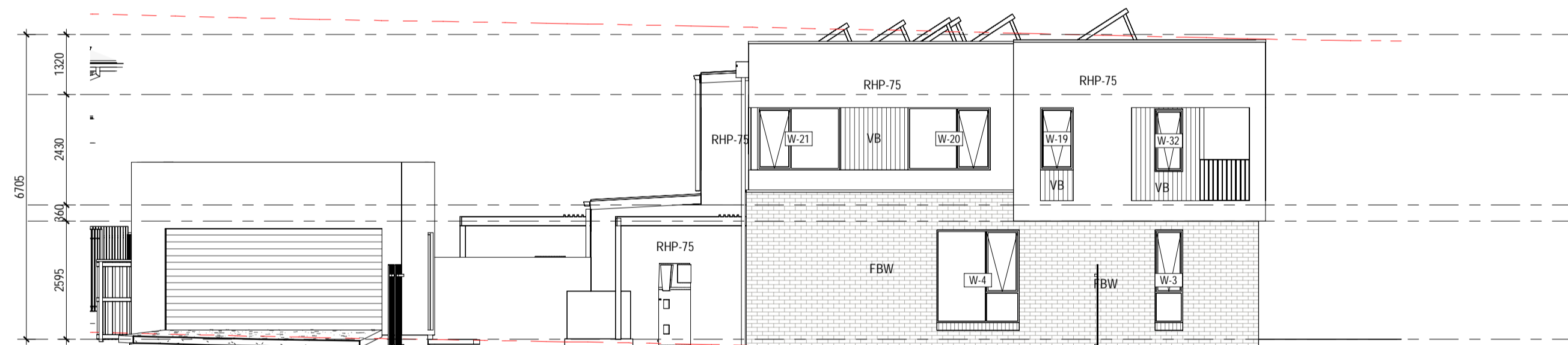
2 LOT 141 SIDE ELEVATION




3 LOT 142-141 REAR ELEVATION



4 Lot 142 GARAGE SIDE ELEVATION



5 LOT 142 SIDE ELVATION




**Certificate No. # D6MMRR6XT5**

Scan QR code or follow website link for rating details.

Assessor name  
Accreditation No.  
Property Address

Claude-Francois Sookkoll  
DMN/14/1662  
7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA,  
2214, NSW, 2214



<https://www.fr5.com.au/QRCodeLanding?PubId=D6MMRR6XT5>

28.02.25  
31.01.25  
date

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ISSUE FOR DA SUBMISSION  
ISSUE FOR BASX ASSESSMENT

amendment

**MIRVAC DESIGN**  
Level 18, 108 George St  
Sydney NSW 2000  
Tel: 02 9439 8800  
Mirvac Design Pty Ltd  
ABN 76 001 109 153  
Mirvac Design Nominees / Responsible Architects:  
Asha Verma, Michael Winer, David Hing, Andrew La  
[http://www.mirvacdesign.com/nominated\\_architects](http://www.mirvacdesign.com/nominated_architects)

client  
**mirvac**

project:  
**RIVERLANDS - MILPERRA**  
56 Prescot Parade, Milperra NSW 2214  
stage: 01  
site: 7A

title:  
**ELEVATIONS LOTS 141 - 142**

job no: MB-10245  
drawing no: 263

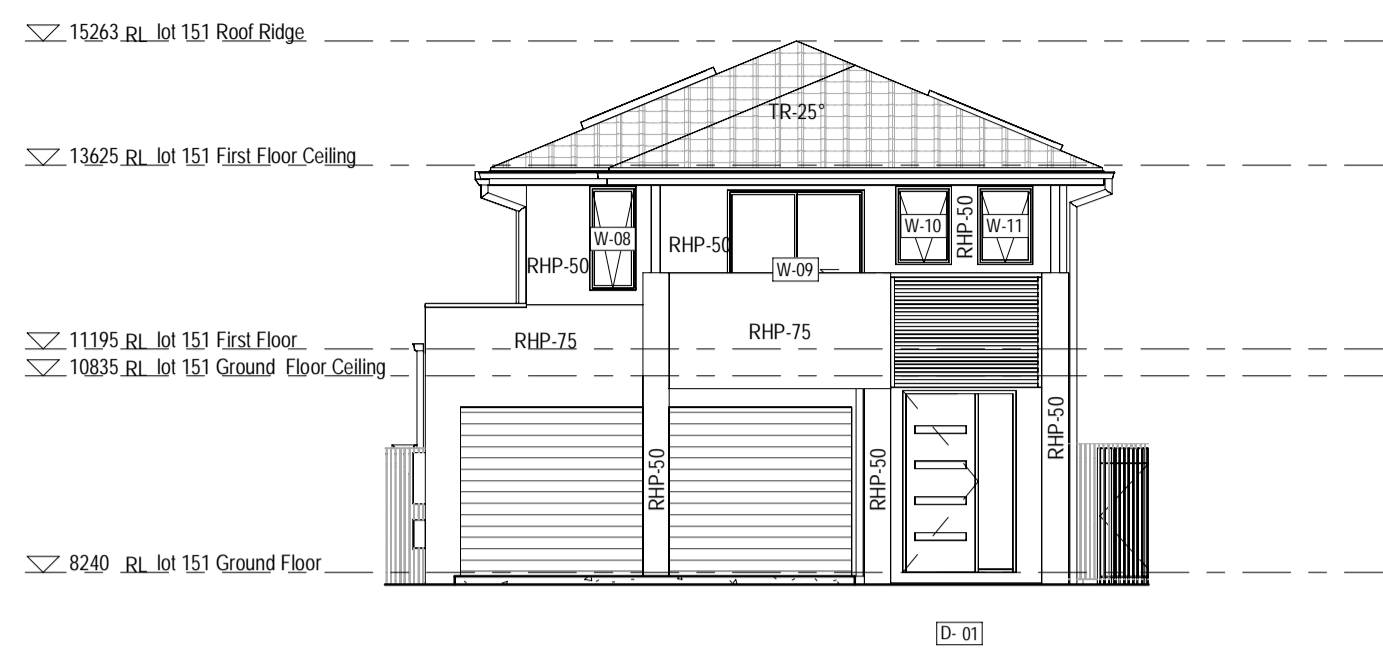
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scale @ A1: 1 : 100

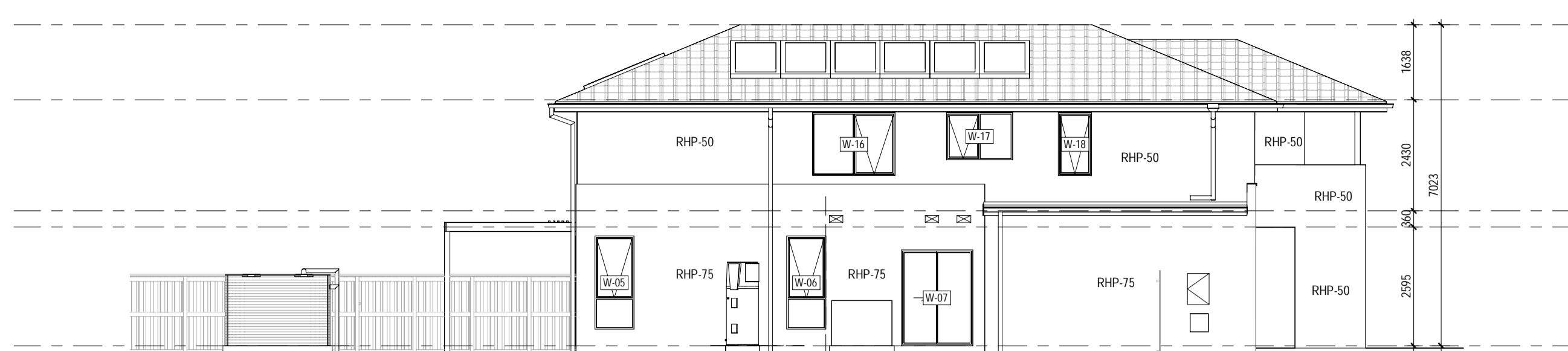
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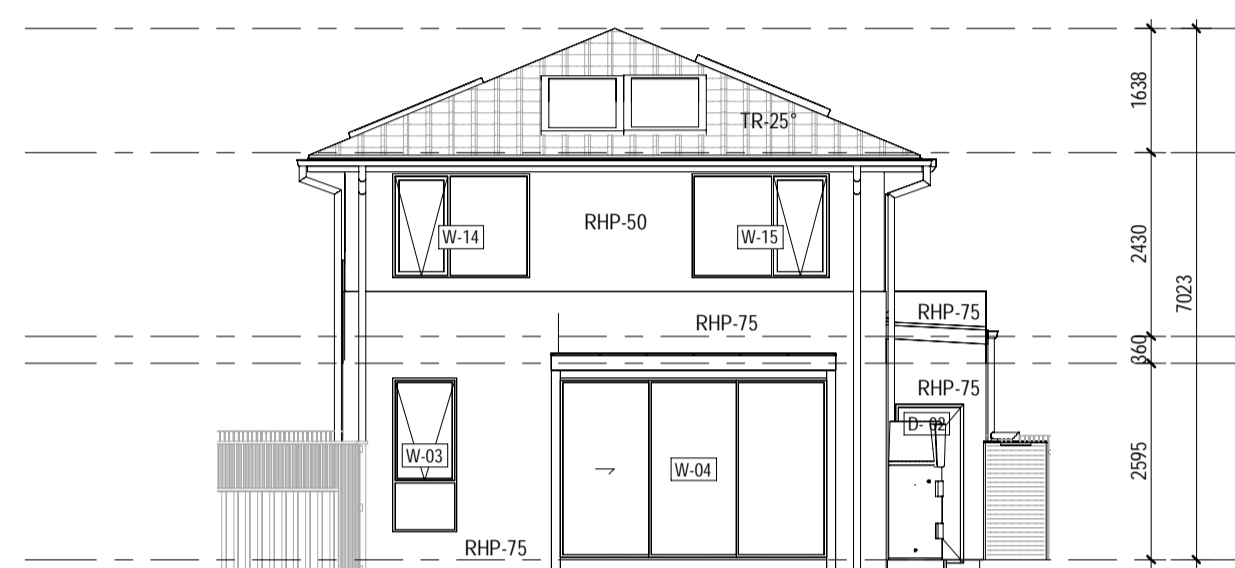
EXTERNAL FINISHES WALL TYPE	
EXCEPT: FINISHES INDICATED ONLY. REFER TO FINISHER'S SCHEDULE	
FBW	FACE BRICKWORK
RSW	RENDERED BRICKWORK
RHP - 75	RENDERED HEBEL PANEL 75
RHP - 50	RENDERED HEBEL PANEL 50
VB	LIGHTWEIGHT CLADDING - VERTICAL RIB TIMBER LOOK
TL	TILE FEATURE CLADDING
LWC - H	LIGHT WEIGHT CLADDING - HORIZONTAL
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING



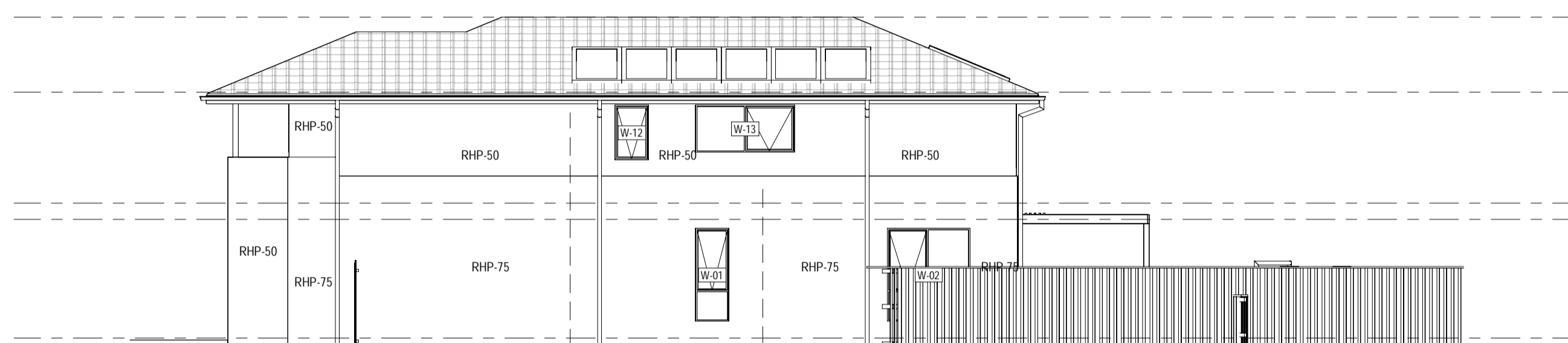
1 LOT 151 FRONT ELEVATION



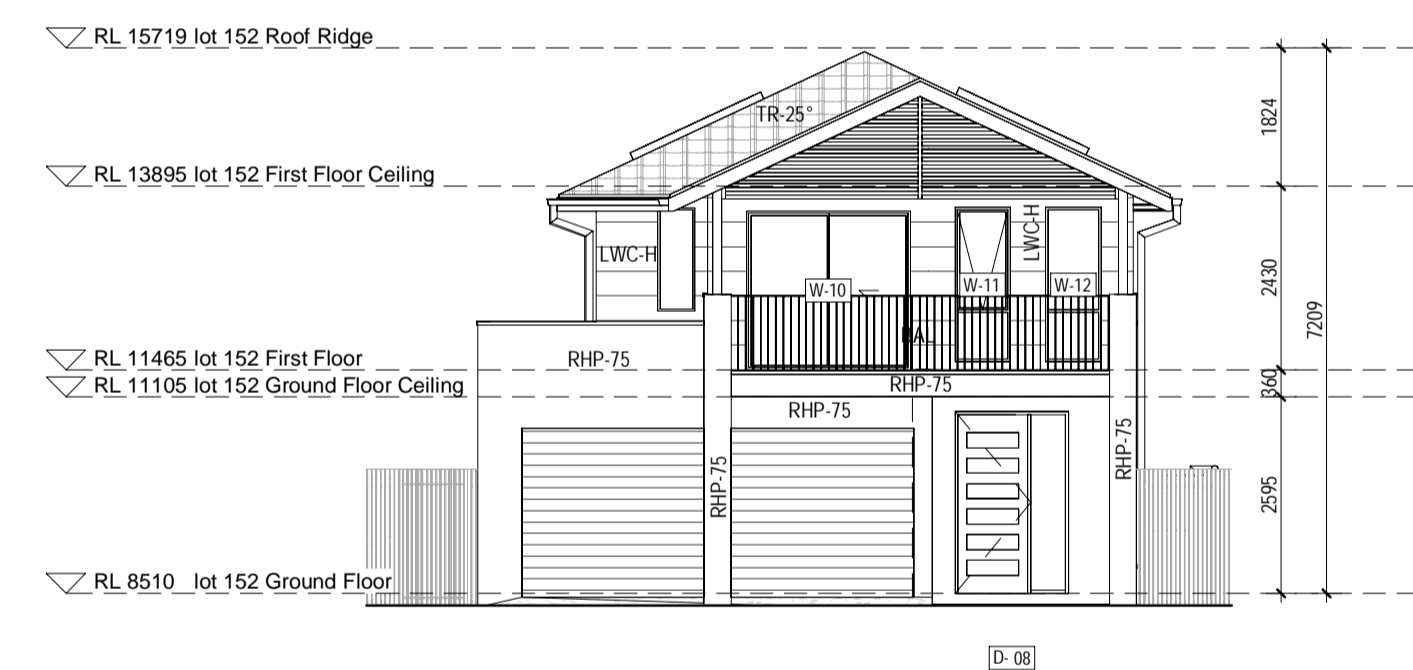
2 LOT 151 SIDE A ELEVATION



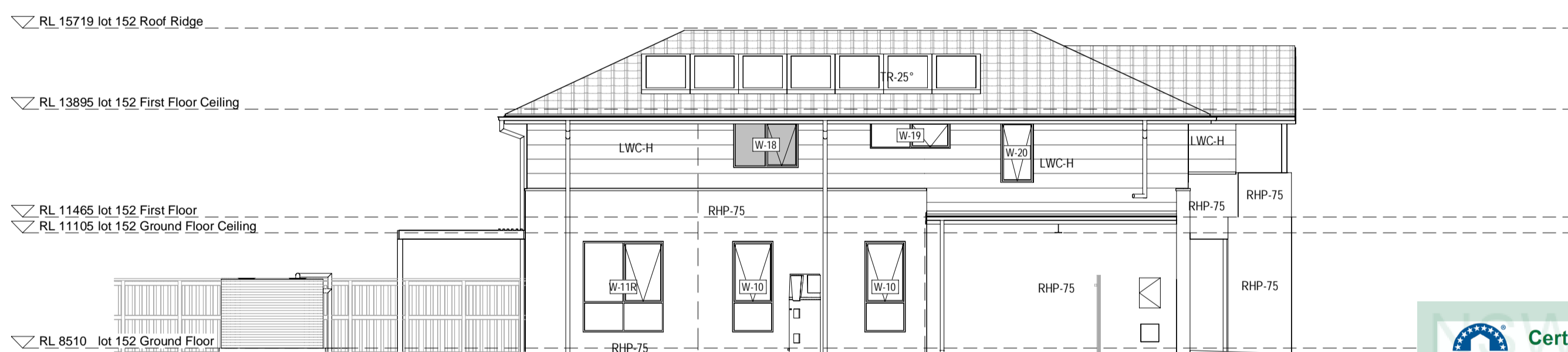
3 LOT 151 REAR LEVATION



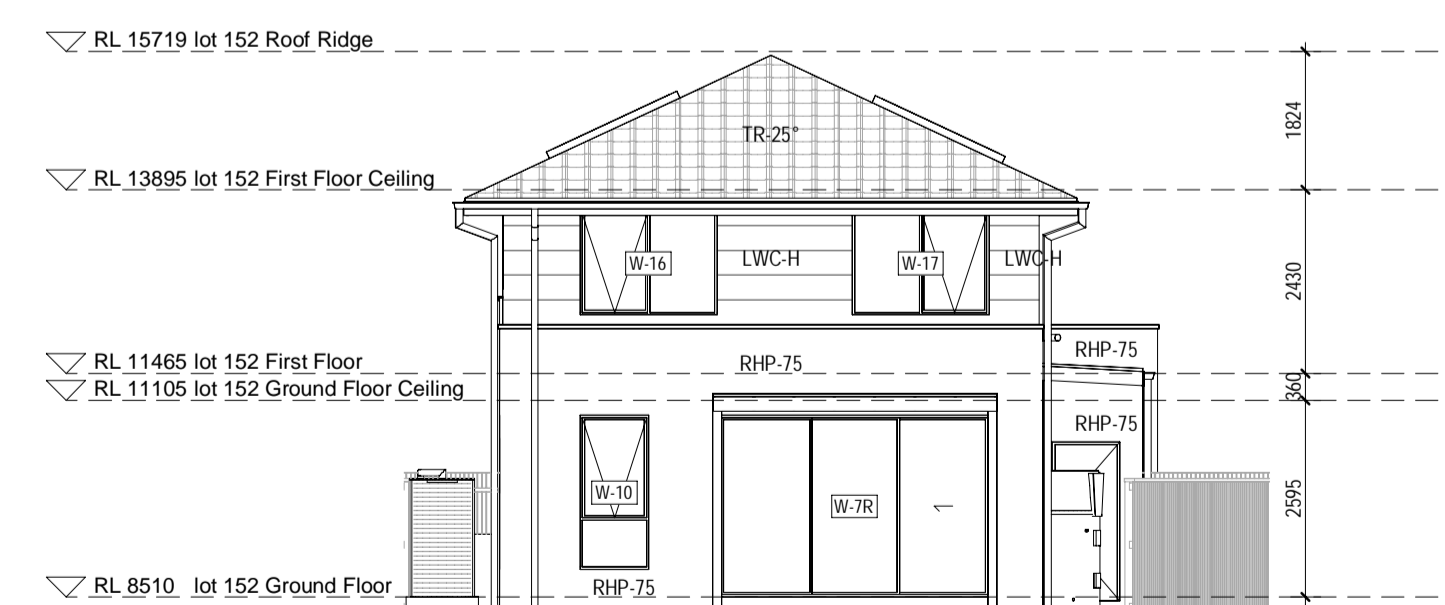
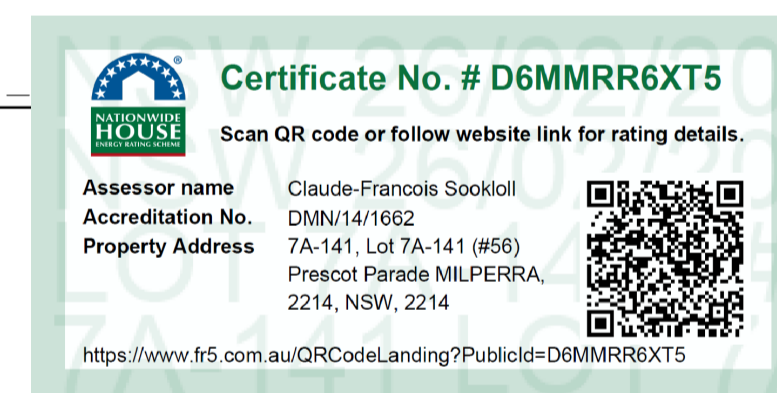
4 LOT 151 SIDE B ELEVATION



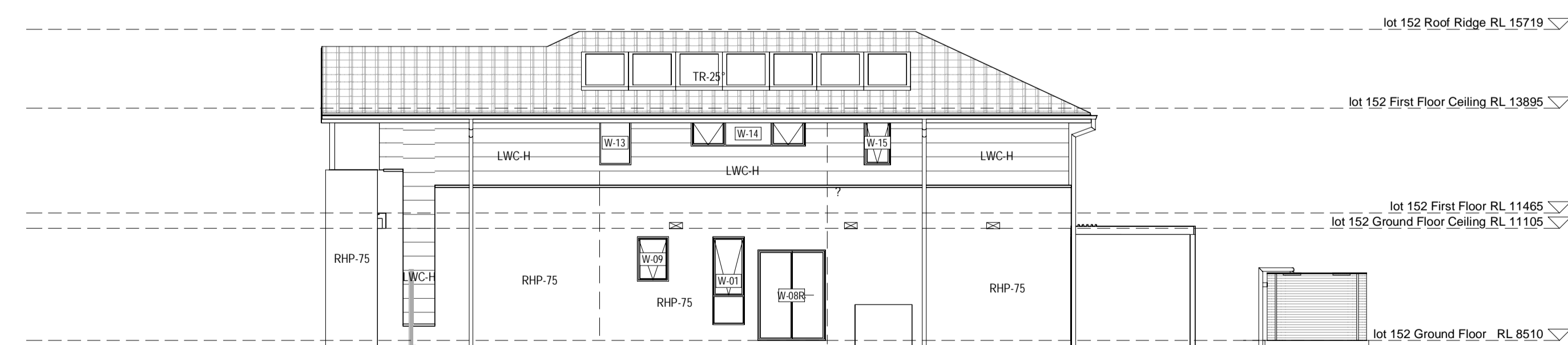
5 LOT 152 FRONT ELEVATION



6 LOT 152 SIDE A ELEVATION



7 LOT 152 REAR ELEVATION



8 LOT 152 SIDE B ELEVATION




1 LOT 152- 142 COLOURED STREETSCAPE



2 LOT 142 - 111 COLOURED STREETSCAPE



3 LOT 102 - 081 COLOURED STREETSCAPE




**Certificate No. # D6MMRR6XT5**

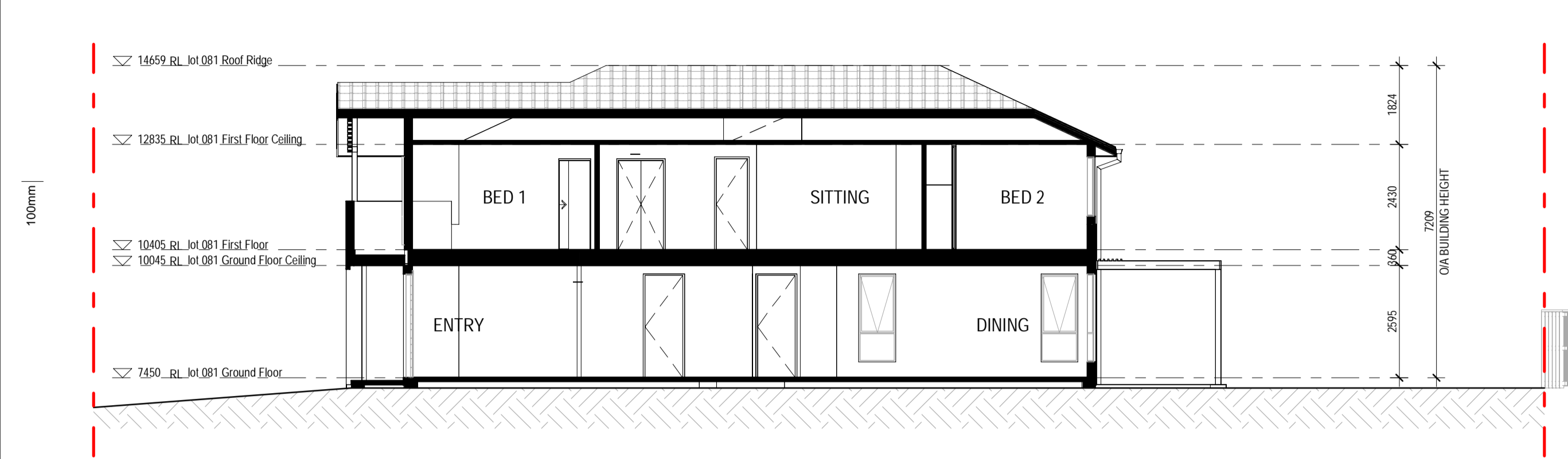
Scan QR code or follow website link for rating details.

Assessor name  
Accreditation No.  
Property Address

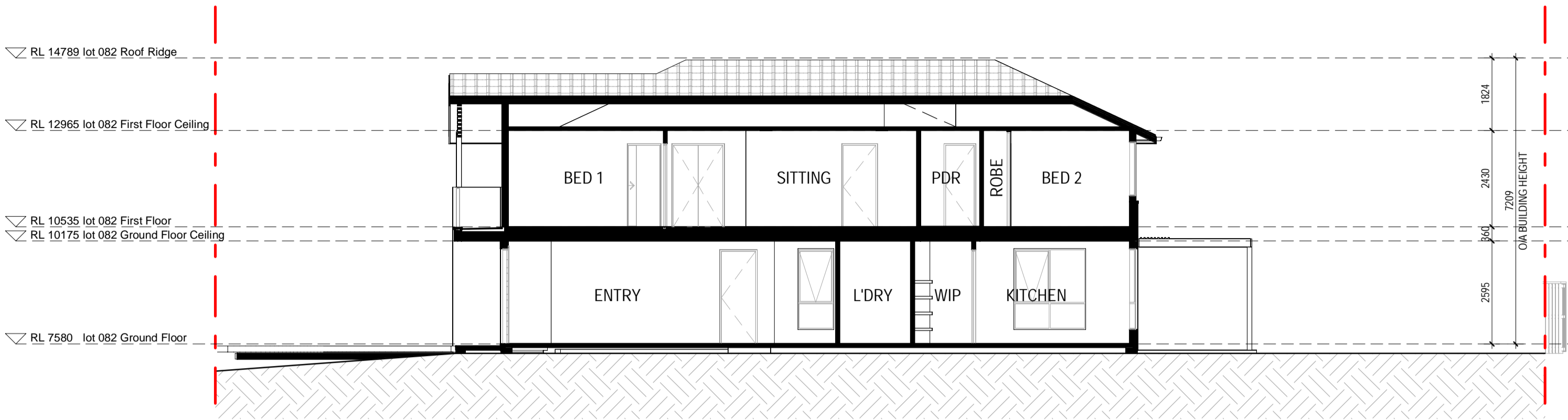
Claude-Francois Sookkoll  
DMN/14/1662  
7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA,  
2214, NSW, 2214



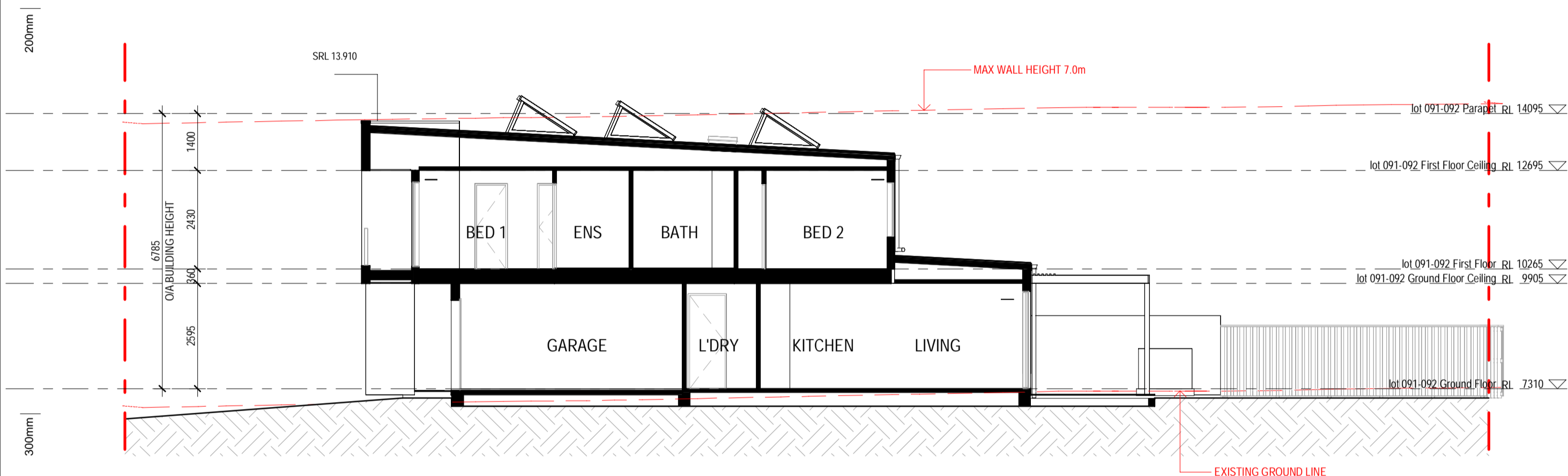
<https://www.fr5.com.au/QRCodeLanding?PublicId=D6MMRR6XT5>



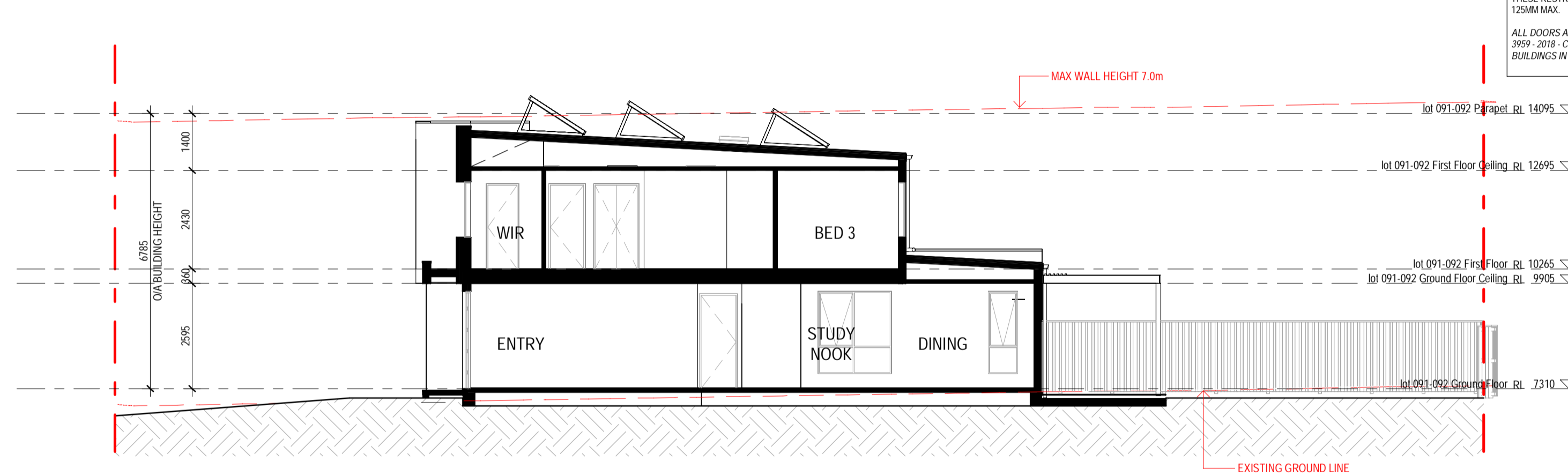
1 LOT 7A-081 SECTION



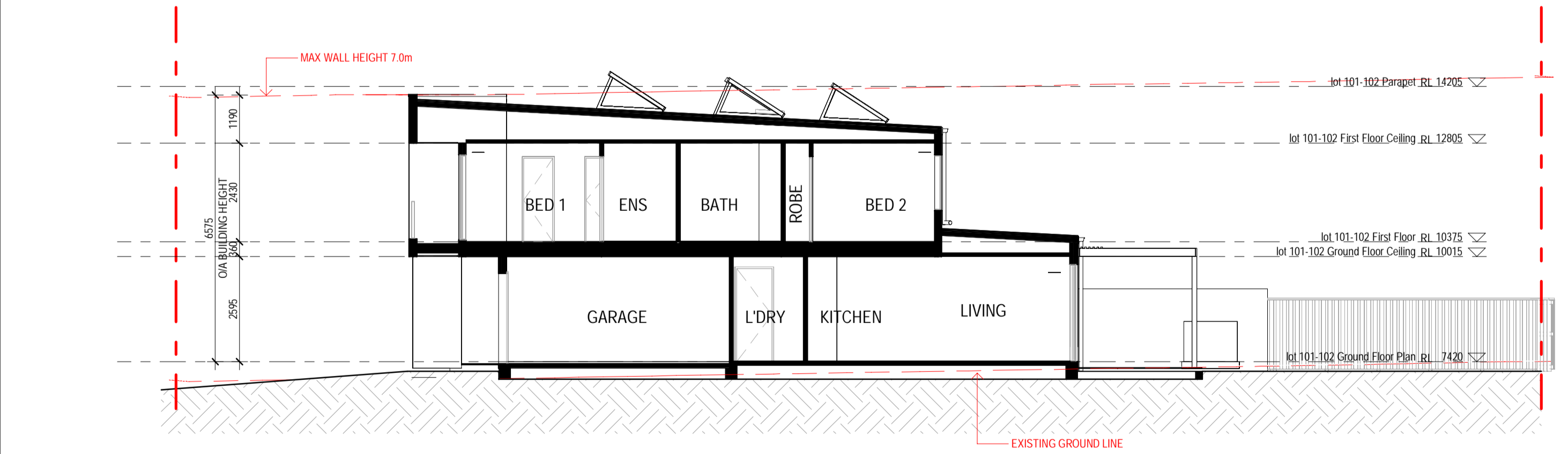
2 LOT 7A-082 SECTION



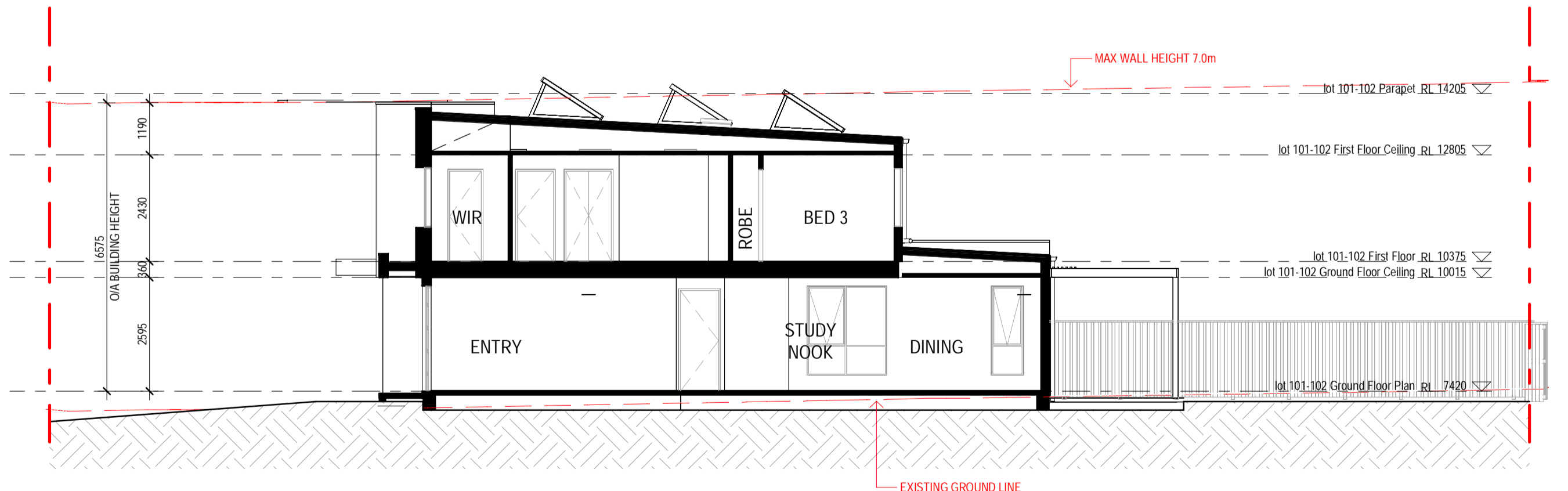
3 LOT 7A-091 SECTION



4 LOT 7A-092 SECTION




5 DA/TP LOT 101 SECTION



6 LOT 7A-102 SECTION

ELEVATION / SECTION LEGEND	
EXTERNAL FINISHES EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
WALL TYPE & FINISH	
FBW	FACE BRICKWORK
RBW	RENDERED BRICK WORK
RHP	RENDERED HERBEL PANEL
RBS-90	RENDERED RECESSED BRICK
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWC1	COVER BATTEN CLADDING
LWC2	LIGHTWEIGHT CLADDING - VERTICAL RIB TIMBER LOOK
LWC3	LIGHTWEIGHT CLADDING - VERTICAL SEAM
LWC4	ZINC FEATURE CLADDING
LWCS	TILE FEATURE CLADDING
DS	DRESSED STONE
ABBREVIATIONS	
BAL	BALUSTRADE - 100mm HIGH MIN.
DEB	DROP EDGE BEAM TO ENGINEER'S DETAIL
DP	DOWN PIPE
DPS	DOWN PIPE & SPREADER
DP-100	DOWN PIPE 100 DIAMETER
EXHW	EXHAUST VENT TO WALL
EXHE	EXHAUST VENT TO EAVE
EXHR	EXHAUST VENT TO ROOF
GL	FINISHED GROUND LINE
GM	GAS METER
GD	GARAGE DOOR
BAL	BALUSTRADE
IMWU	INSTANTANEOUS GAS HOT WATER UNIT
MB	METER BOX
MR	METAL ROOF - PITCH AS NOTED
NGL	NATURAL GROUND LINE
OIA FASCIA	OVERALL EAVE DIMENSION INCLUDING FASCIA
TP	TIMBER POST - SIZE AS NOTED
TP-120	TIMBER POST - 120x120mm
TR	TILED ROOF - PITCH AS NOTED
PS	PENICULA TO DETAIL
VJ	VERTICAL JOINT
WCL	WALL MOUNTED CLOTHES LINE
PCD	PREMIER CONNECTION DEVICE
NBN	NATIONAL BROADBAND NETWORK
BALUSTRADE NOTES:	
INTERNAL STAIRS: BALUSTRADE HANDRAIL TO BE CONTINUOUS ON FLIGHT IN ACCORDANCE WITH BCA REQUIREMENT.	
EXTERNAL BALUSTRADES: ALL HANDRAILS & BALUSTRADES TO BE INSTALLED AT HEIGHTS IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS	
WINDOW NOTE: WINDOW FRAMES, GLAZING & ASSOCIATED MATERIAL SHOULD BE TO MANUFACTURERS SPECIFICATIONS. MANUFACTURER TO CERTIFY DESIGN COMPLIANCE WITH NCC & APPLICABLE AUSTRALIAN STANDARDS. REFER TO EXTERNAL FINISHES SCHEDULE FOR COLOUR SELECTION. OPENING RESTRICTORS FITTED. THESE RESTRICTORS SHALL LIMIT THE OPENING TO 150MM MAX.	
ALL DOORS AND WINDOWS TO COMPLY WITH AS 3959 - 2018 - CONSTRUCTION STANDARDS FOR BUILDINGS IN BUSHFIRE PRONE AREAS.	




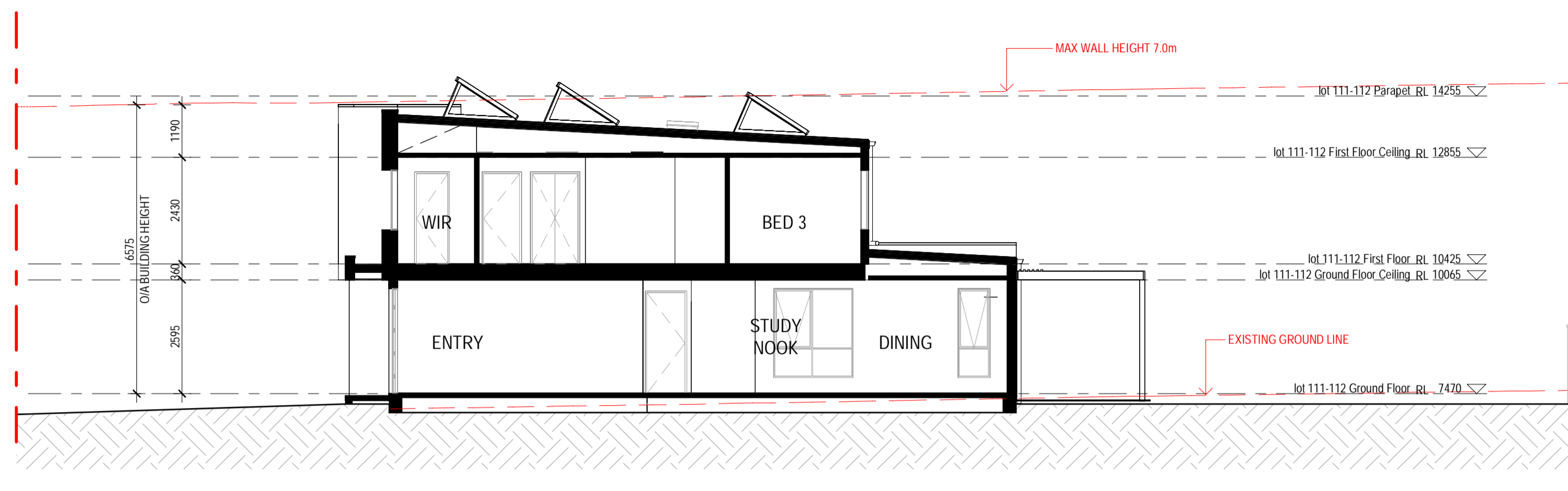
**Certificate No. # D6MMRR6XT5**

Scan QR code or follow website link for rating details.

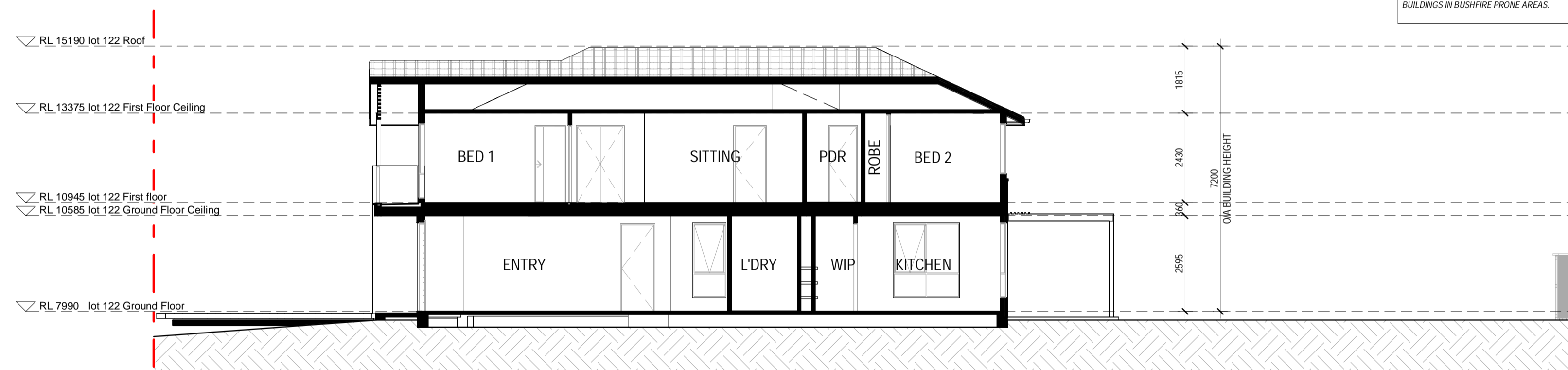
Assessor name: Claude-Francois Sookkoll  
Accreditation No.: DMN/14/1662  
Property Address: 7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA, 2214, NSW, 2214

<https://www.fir5.com.au/QRCodeLanding?PubId=D6MMRR6XT5>

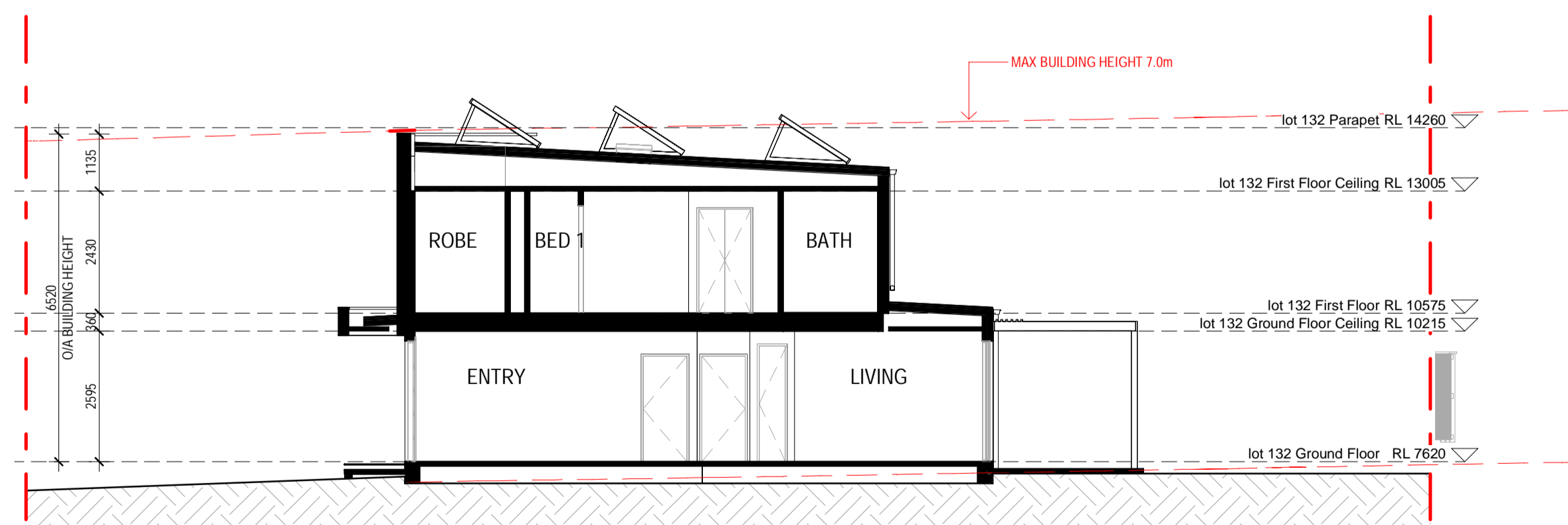




2 LOT 7A-112 SECTION



4 LOT 7A-122 SECTION



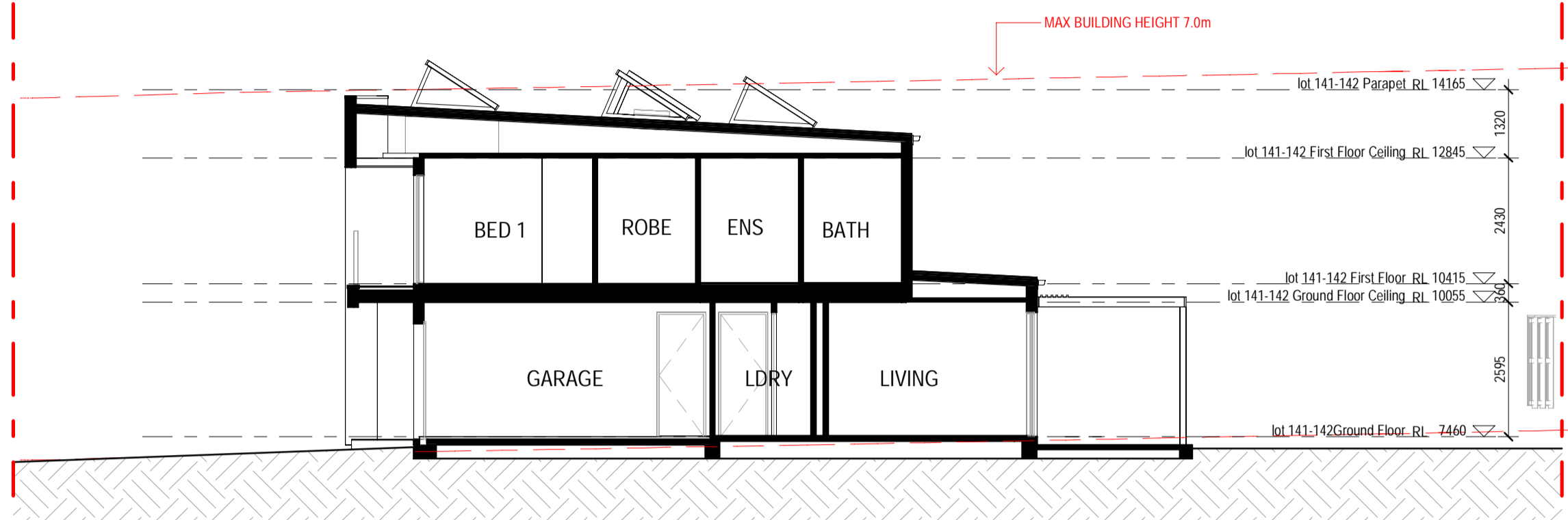
6 LOT 7A-132 SECTION



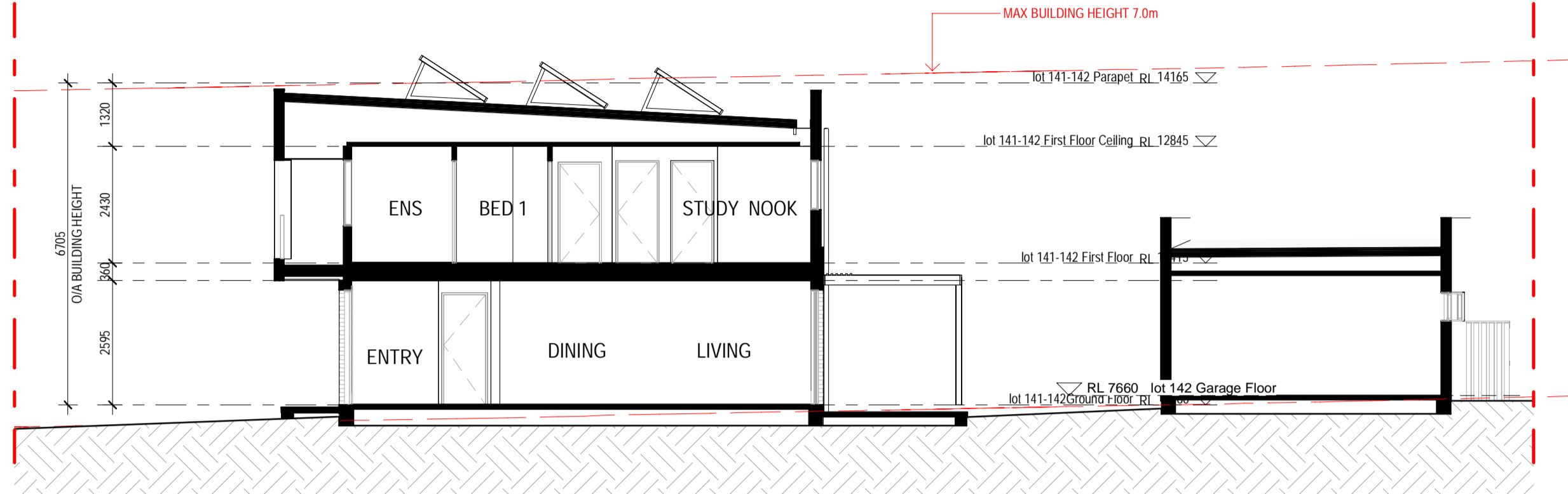
0mm 100mm 200mm 300mm

100mm

200mm

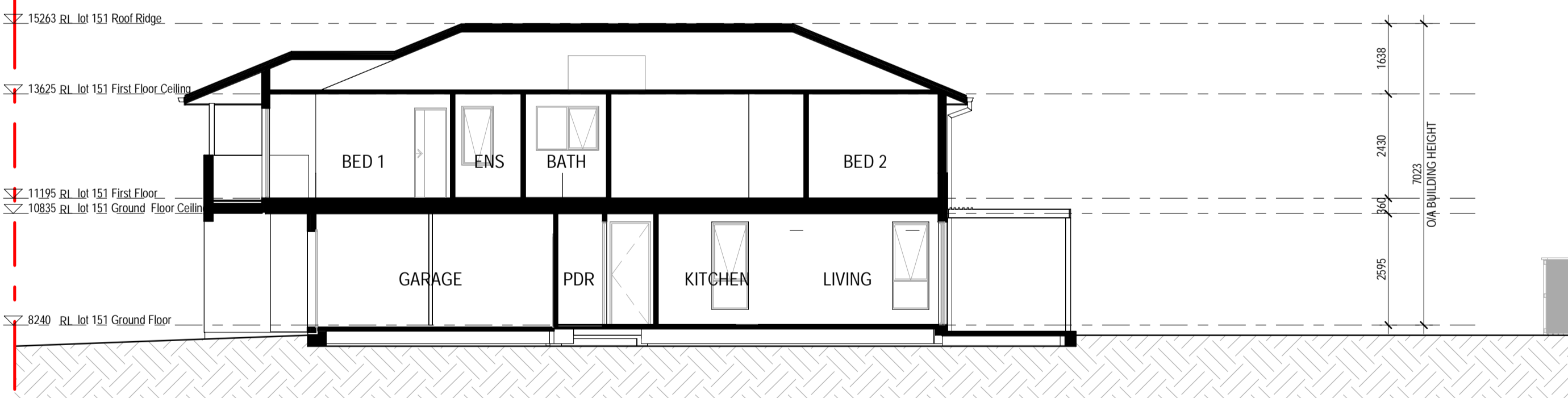


1 LOT 7A-141 SECTION

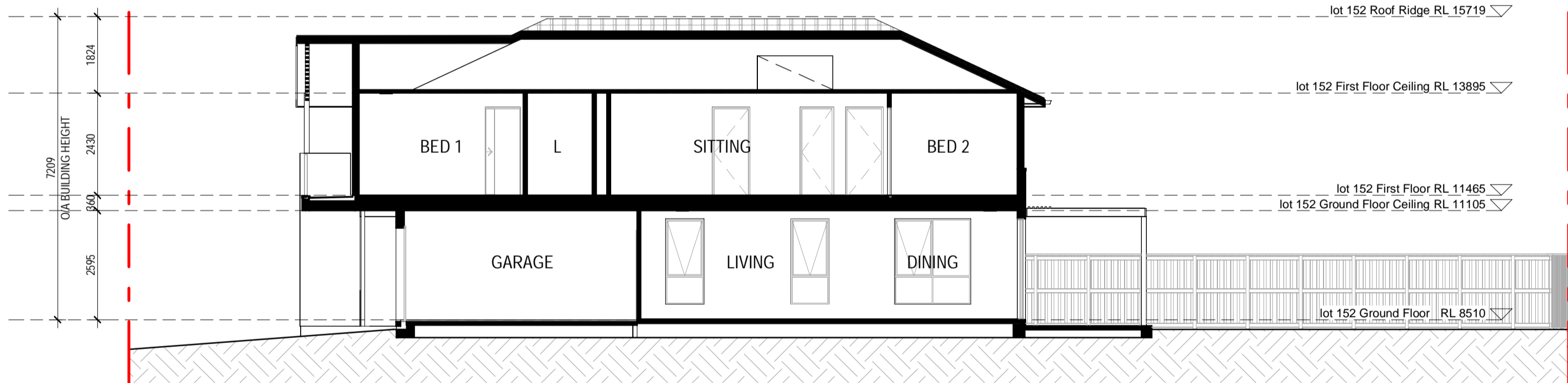


2 LOT 7A-142 SECTION

300mm



3 LOT 7A-151 SECTION




4 LOT 7A-152 SECTION

ELEVATION / SECTION LEGEND	
EXTERNAL FINISHES EXTENT OF FINISHES INDICATED ONLY. REFER TO FINISHES SCHEDULE	
WALL TYPE & FINISH	
FBW	FACE BRICKWORK
RBW	RENDERED BRICK WORK
RHP	RENDERED HERBEL PANEL
RBS-90	RENDERED RECESSED BRICK
LWS	RENDERED LIGHTWEIGHT SHEET CLADDING
LWC1	COVER BATTEN CLADDING
LWC2	LIGHTWEIGHT CLADDING - VERTICAL RIB TIMBER LOOK
LWC3	LIGHTWEIGHT CLADDING - VERTICAL SEAM
LWC4	ZINC FEATURE CLADDING
LWC5	TILE FEATURE CLADDING
DS	DRESSED STONE

ABBREVIATIONS	
BAL	BALUSTRADE - 1000mm HIGH MIN.
DEB	DROP EDGE BEAM TO ENGINEER'S DETAIL
DP	DOWN PIPE
DPS	DOWN PIPE & SPREADER
DP-100	DOWN PIPE 100 DIAMETER
EXHW	EXHAUST VENT TO WALL
EXHE	EXHAUST VENT TO EAVE
EXHR	EXHAUST VENT TO ROOF
FXL	FINISHED GROUND LINE
GM	GAS METER
GD	GARAGE DOOR
BAL	BALUSTRADE
IMU	INSTANTANEOUS GAS HOT WATER UNIT
MB	METER BOX
MR	METAL ROOF - PITCH AS NOTED
NGL	NATURAL GROUND LINE
O/A FASCIA	OVERALL LEAVE DIMENSION INCLUDING FASCIA
TP	TIMBER POST - SIZE AS NOTED
TP-120	TIMBER POST - 120x120mm
TR	TILED ROOF - PITCH AS NOTED
PS	PERGOLA TO DETAIL
VJ	VERTICAL JOINT
WCL	WALL MOUNTED CLOTHES LINE
PCD	PREMIER CONNECTION DEVICE
NBN	NATIONAL BROADBAND NETWORK

INTERNAL STAIRS	
BALUSTRADE HANDRAIL TO BE CONTINUOUS ON FLIGHT IN ACCORDANCE WITH BCA REQUIREMENT.	
EXTERNAL BALUSTRADES	
ALL HANDRAILS & BALUSTRADES TO BE INSTALLED AT HEIGHTS IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS	
WINDOW NOTE	
WINDOW FRAMES, GLAZING & ASSOCIATED MATERIAL SHOULD BE TO MANUFACTURERS SPECIFICATIONS. MANUFACTURER TO CERTIFY DESIGN COMPLIANCE WITH NCC & APPLICABLE AUSTRALIAN STANDARDS. REFER TO EXTERNAL FINISHES SCHEDULE FOR COLOUR SELECTION. OPENING RESTRICTORS FITTED. THESE RESTRICTORS SHALL LIMIT THE OPENING TO 1500MM MAX.	
ALL DOORS AND WINDOWS TO COMPLY WITH AS 3959 - 2018 - CONSTRUCTION STANDARDS FOR BUILDINGS IN BUSHFIRE PRONE AREAS.	



**Certificate No. # D6MMRR6XT5**


Scan QR code or follow website link for rating details.

**Assessor name** Claude-Francois Sookkoll

**Accreditation No.** DMN/14/1662

**Property Address** 7A-141, Lot 7A-141 (#58)  
Prescot Parade MILPERRA,  
2214, NSW, 2214

<https://www.fr5.com.au/QRCodeLanding?PublicId=D6MMRR6XT5>



0mm

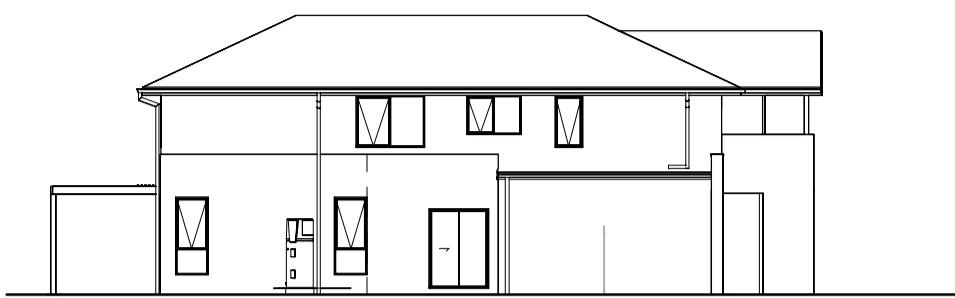
100mm

200mm

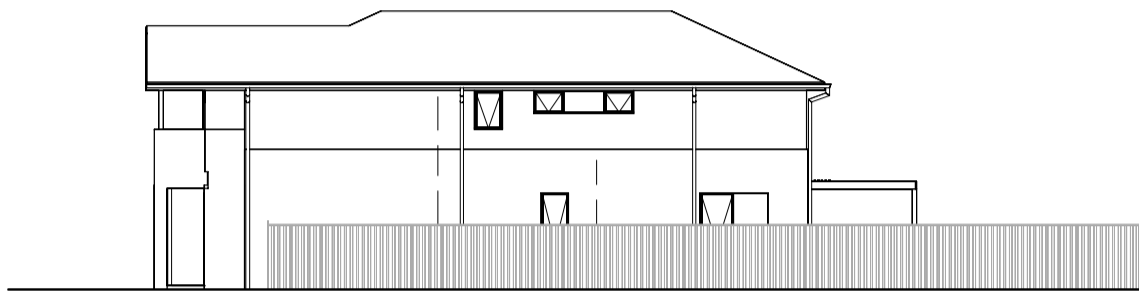
300mm



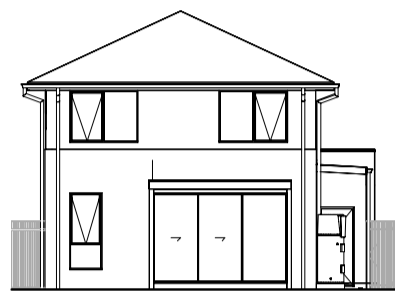
1 LOT 7A-081 FRONT ELEVATION



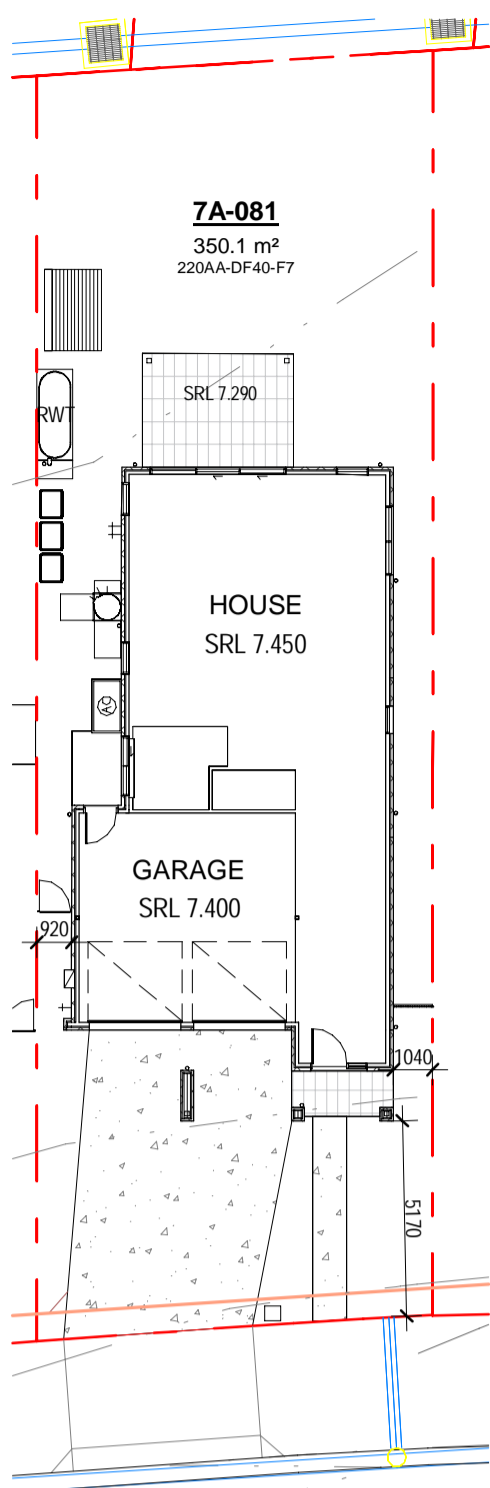
2 LOT 7A-081 SIDE ELEVATION



3 LOT 7A-081 SIDE ELEVATION



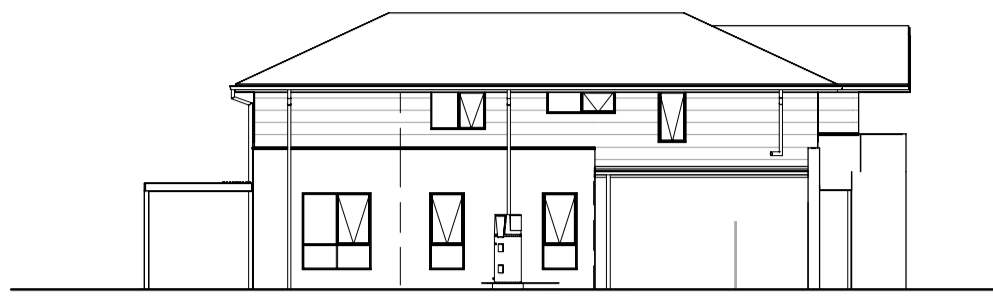
4 LOT 7A-081 REAR ELEVATION



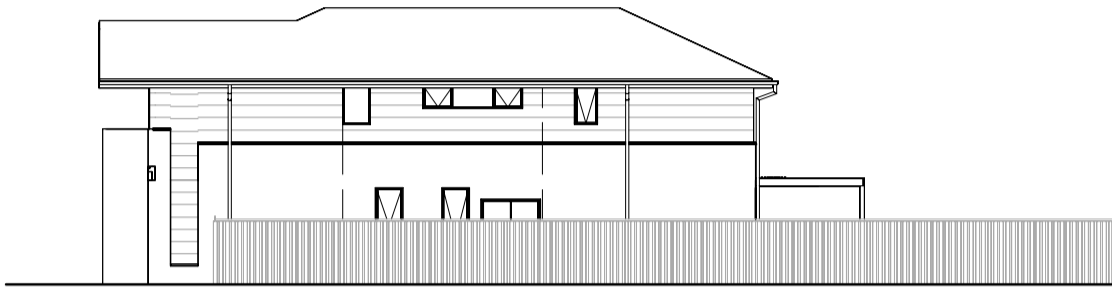
5 LOT 7A-081 NOTIFICATION PLAN



6 LOT 7A-082 FRONT ELEVATION



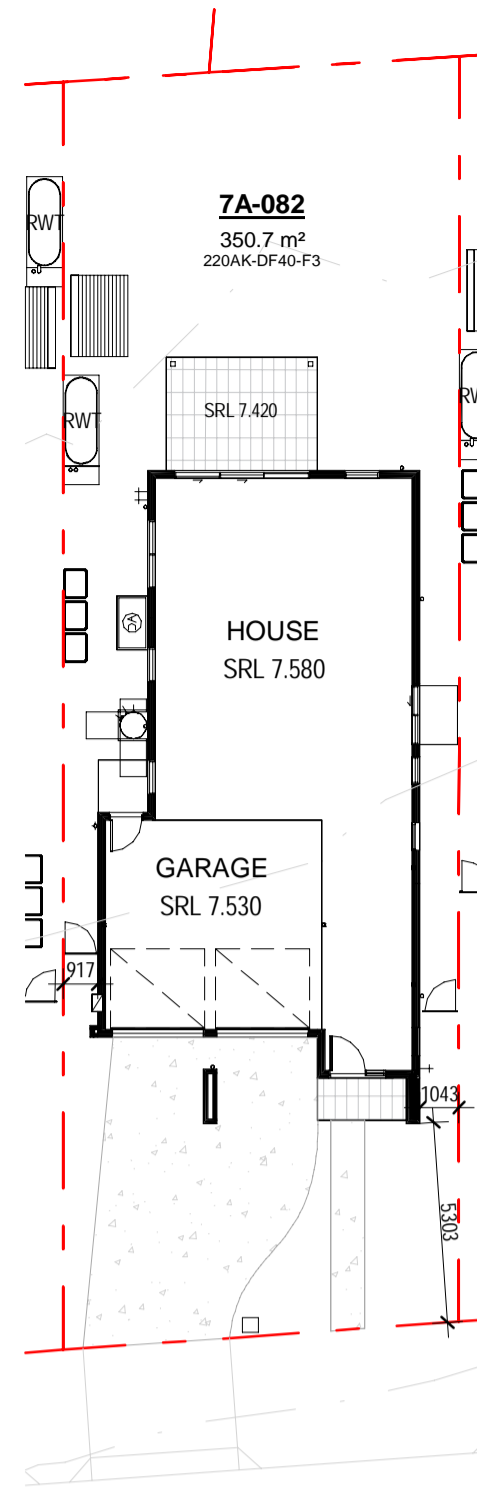
7 LOT 7A-082 SIDE ELEVATION



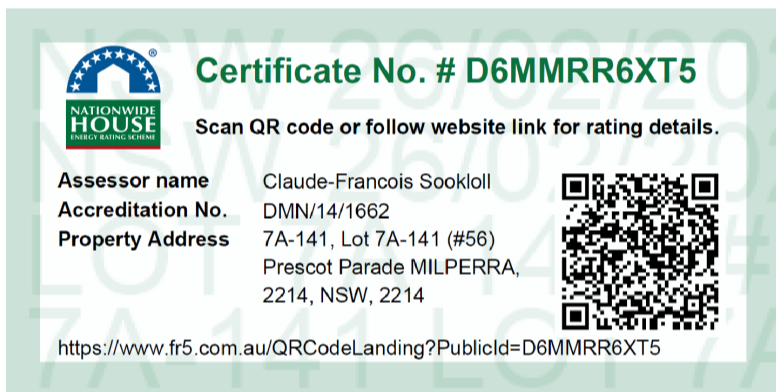
8 LOT 7A-082 SIDE ELEVATION



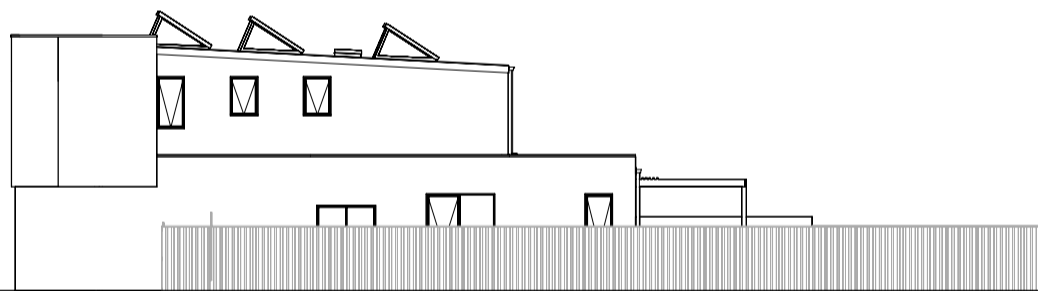
9 LOT 7A-082 REAR ELEVATION



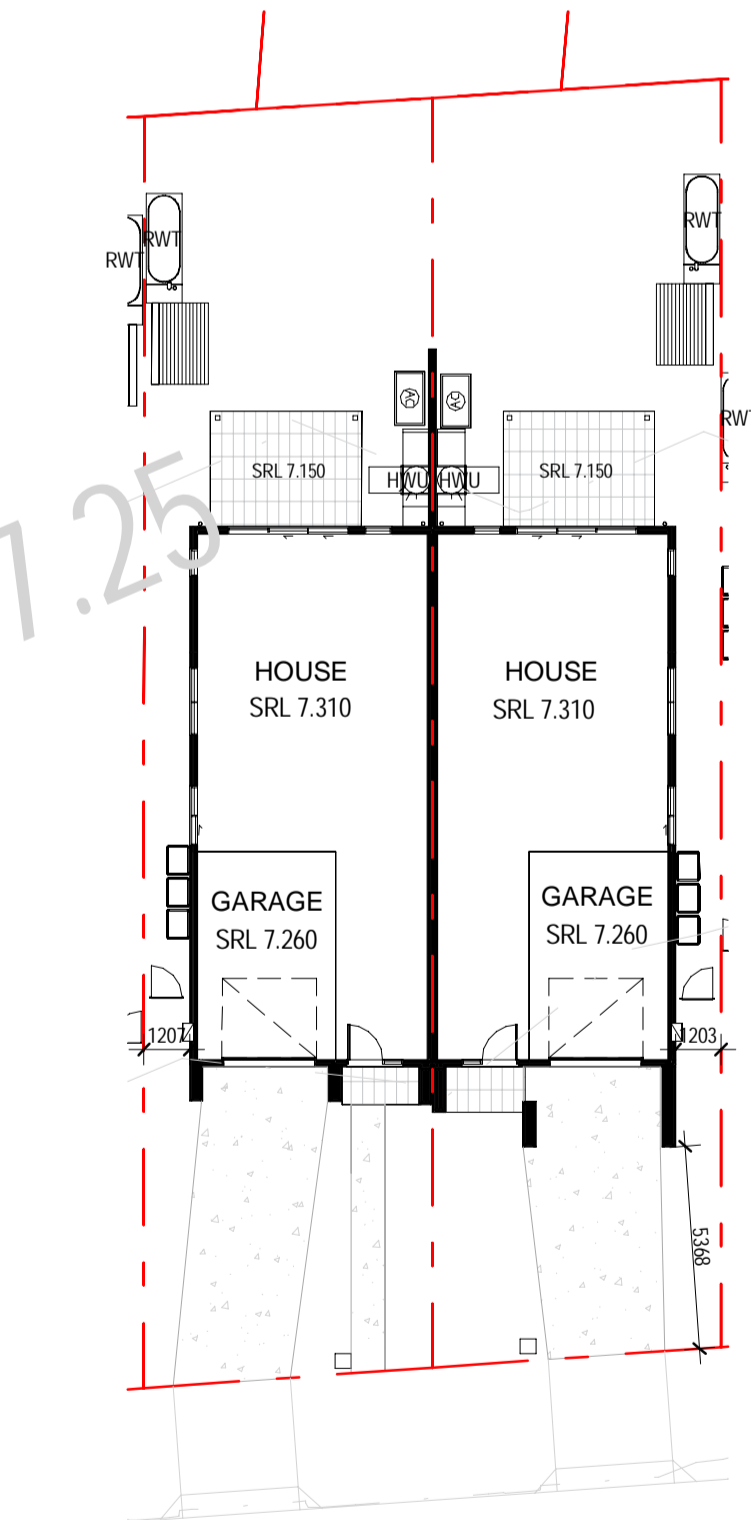
10 LOT 7A-082 NOTIFICATION PLAN



11 LOT 7A-091-092 REAR ELEVATION



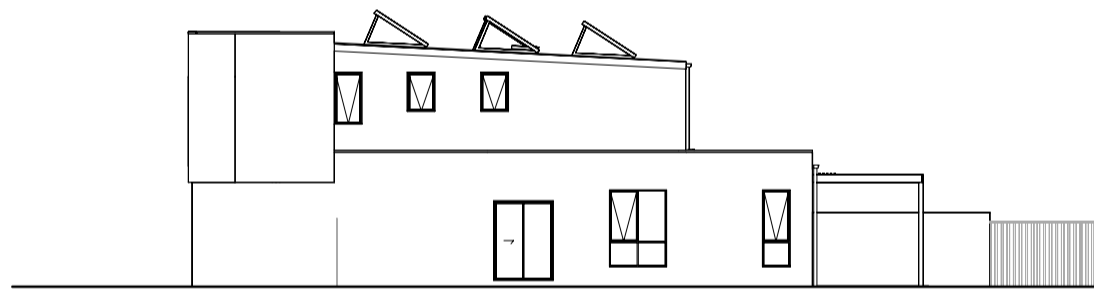
12 LOT 7A-091 SIDE ELEVATION



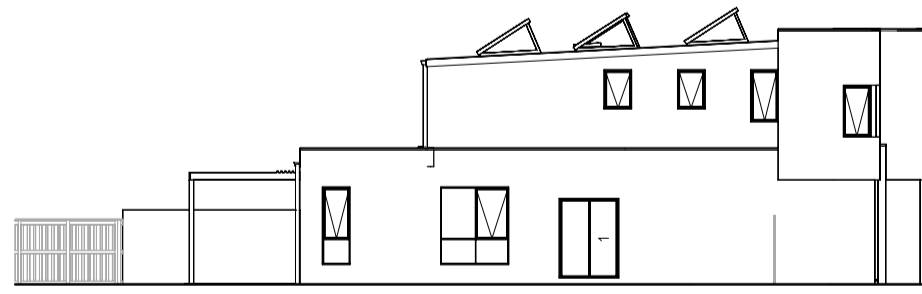
15 LOT 7A-091-092 NOTIFICATION PLAN



16 LOT 7A-101-102 FRONT ELEVATION



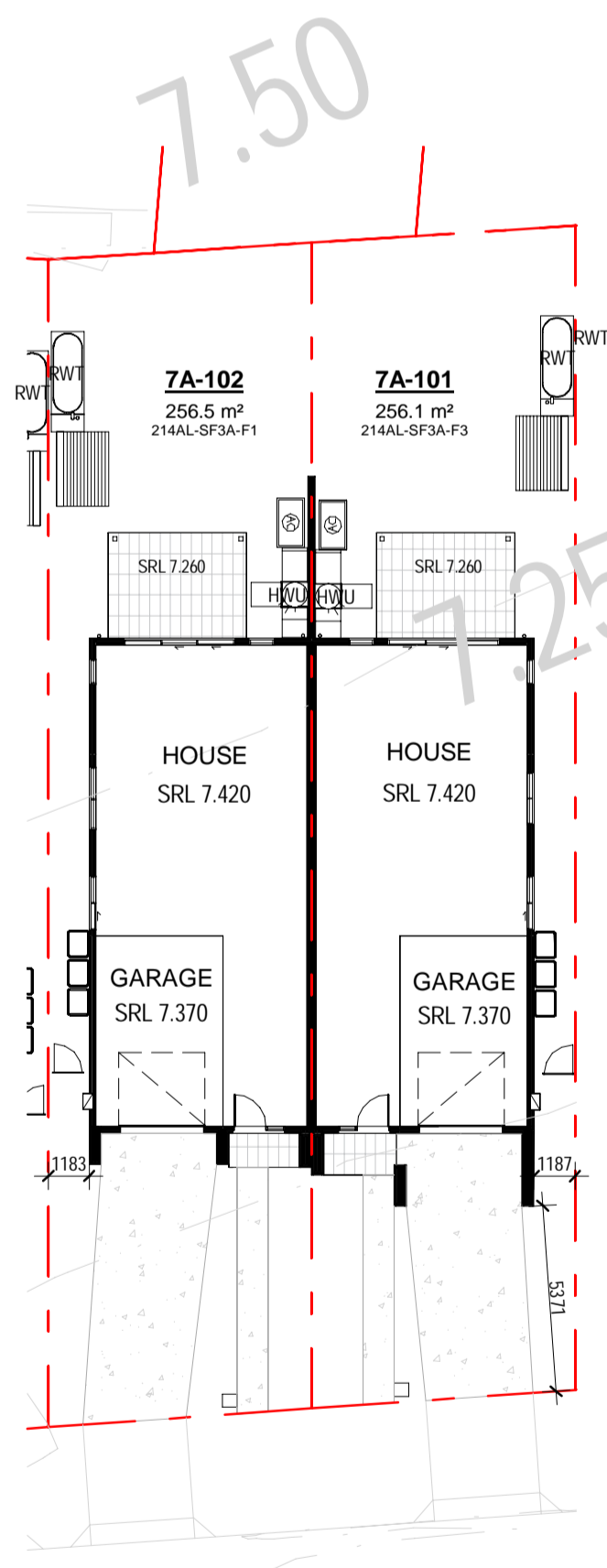
17 LOT 7A-101 SIDE ELEVATION



18 LOT 7A-102 SIDE ELEVATION



19 LOT 7A-101-102 REAR ELEVATION



20 LOT 7A-101-102 NOTIFICATION PLAN

28.02.25  
31.01.25  
date

B  
A  
rev

ISSUE FOR DA SUBMISSION  
ISSUE FOR BASIX ASSESSMENT

amendment

**MIRVAC DESIGN**  
Level 18, 108 George St  
Sydney NSW 2000  
Tel: 02 9250 8800  
Mirvac Design Pty Ltd  
ABN 16 001 109 113  
Mirvac Design Nominees / Responsible Architects:  
Asha Verma, Michael Winer, David Hing, Andrew La  
[http://www.mirvacdesign.com/nominees\\_and\\_basix](http://www.mirvacdesign.com/nominees_and_basix)

client  
**mirvac**

project:  
**RIVERLANDS - MILPERRA**  
56 Prescot Parade, Milperra NSW 2214  
stage: 01  
site: 7A

title:  
**NEIGHBOURING NOTIFICATION PLANS**

job no: MB-10245  
drawing no: 290

date: 28.02.25

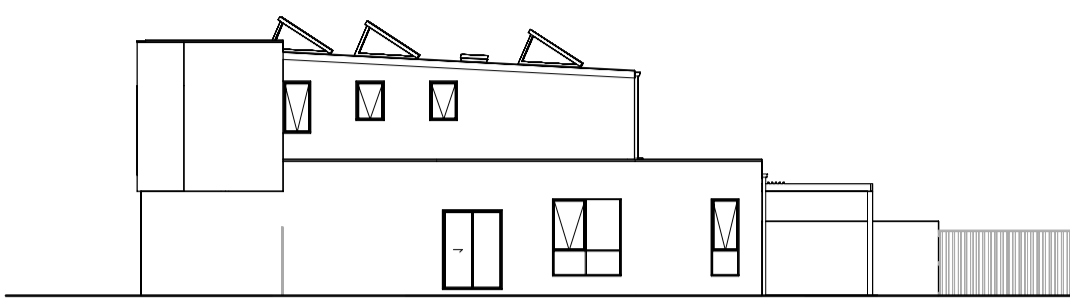
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rev: B

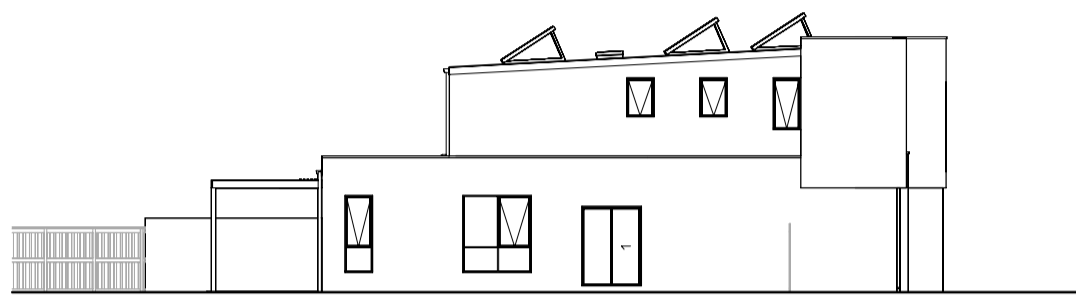
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1 LOT 7A-111-112 FRONT ELEVATION



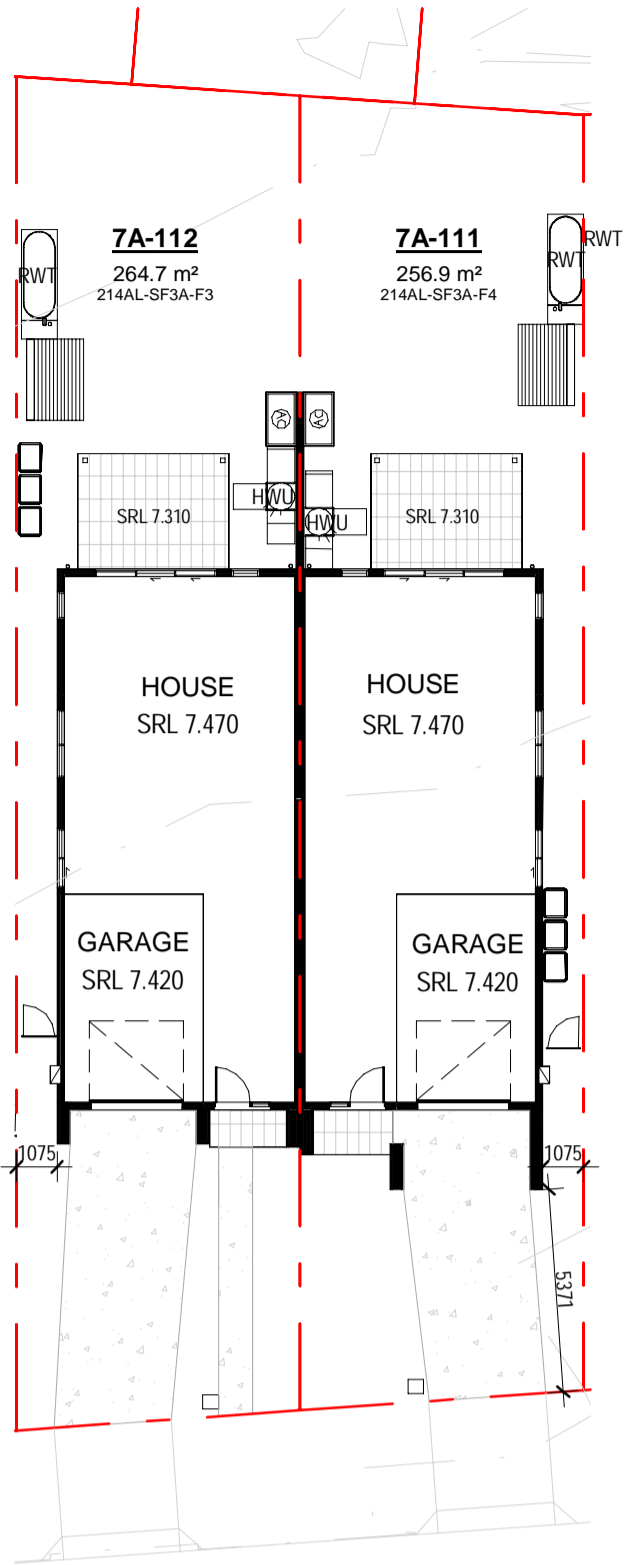
2 LOT 7A-111 SIDE ELEVATION



3 LOT 7A-112 SIDE ELEVATION



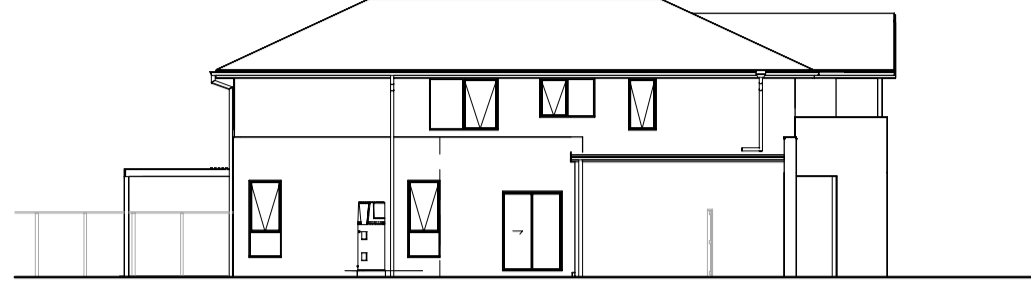
4 LOT 7A-111-112 REAR ELEVATION



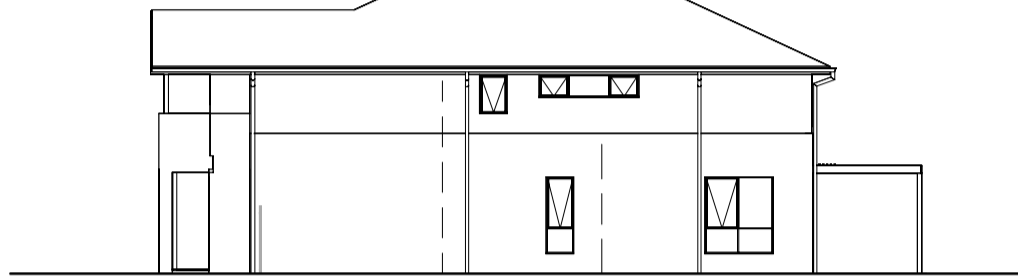
5 LOT 7A-111-112 NOTIFICATION PLAN



6 LOT 7A-121 FRONT ELEVATION



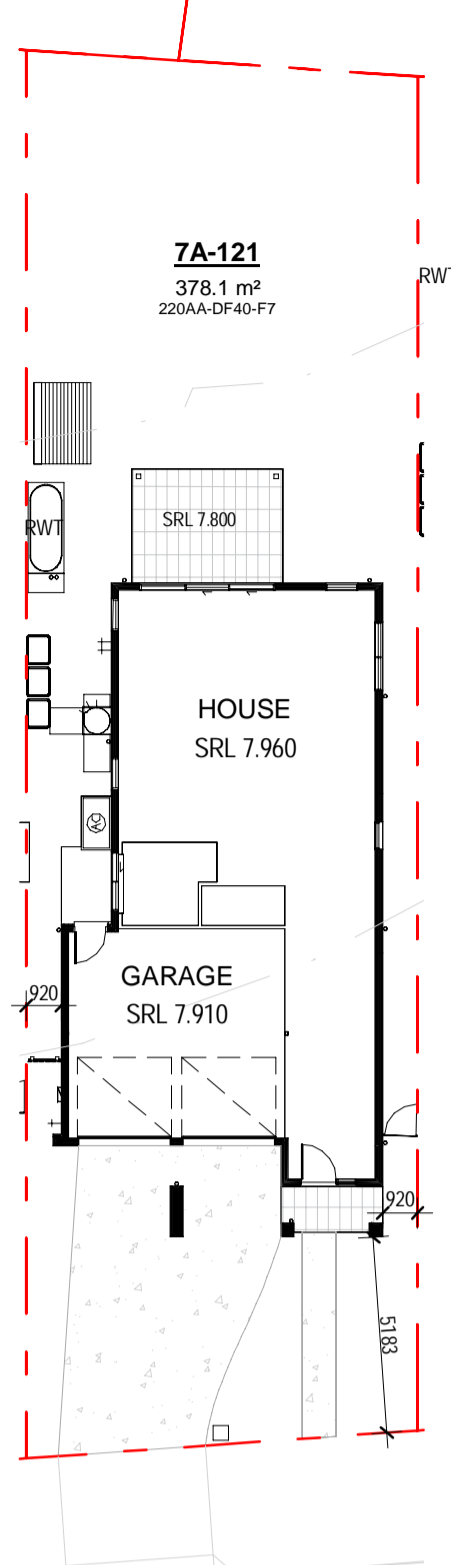
7 LOT 7A-121 SIDE ELEVATION



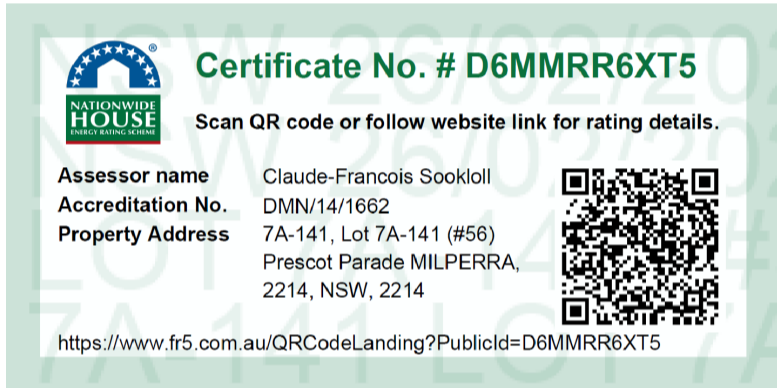
8 LOT 7A-121 SIDE ELEVATION



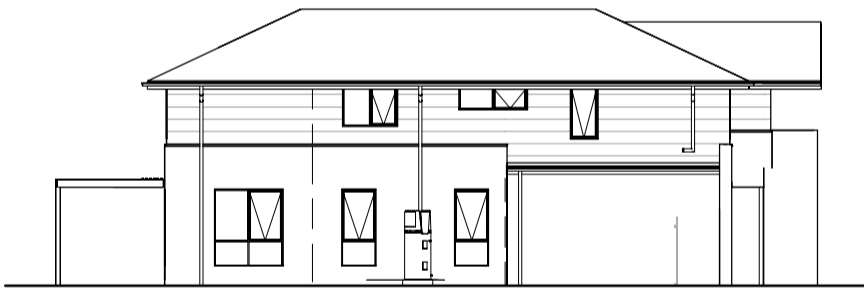
9 LOT 7A-121 REAR ELEVATION



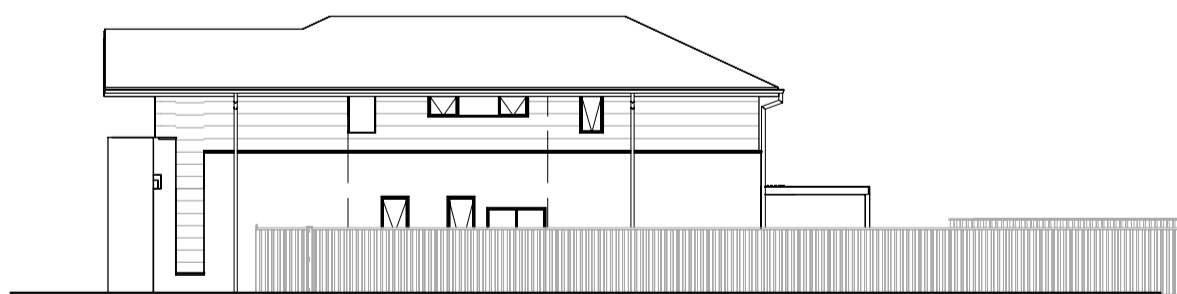
10 LOT 7A-121 NOTIFICATION PLAN



11 LOT 7A-122 FRONT ELEVATION



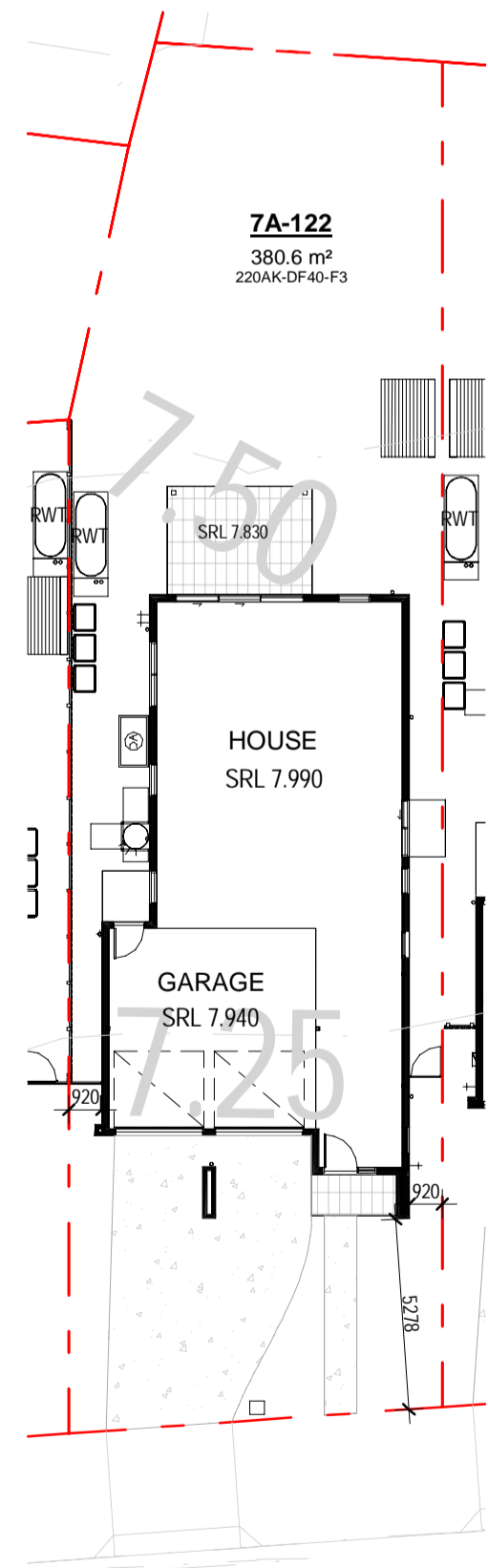
12 LOT 7A-122 SIDE ELEVATION



13 LOT 7A-122 SIDE ELEVATION



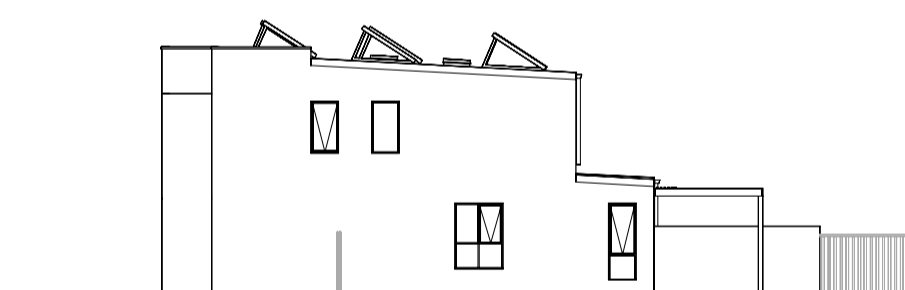
14 LOT 7A-122 REAR ELEVATION



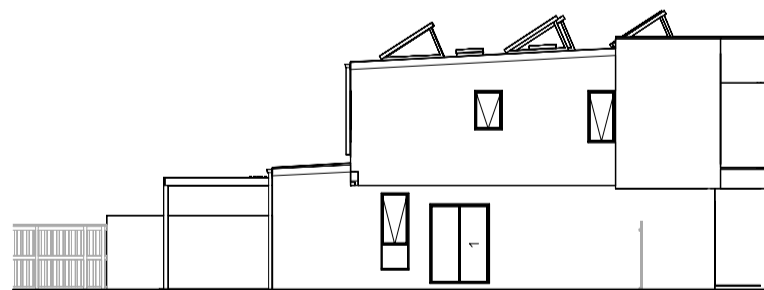
15 LOT 7A-122 NOTIFICATION PLAN



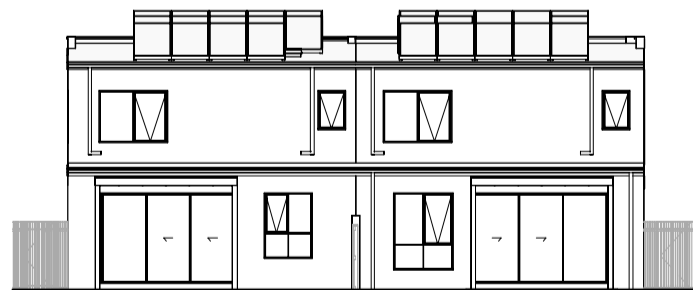
16 LOT 7A-131-132 FRONT ELEVATION



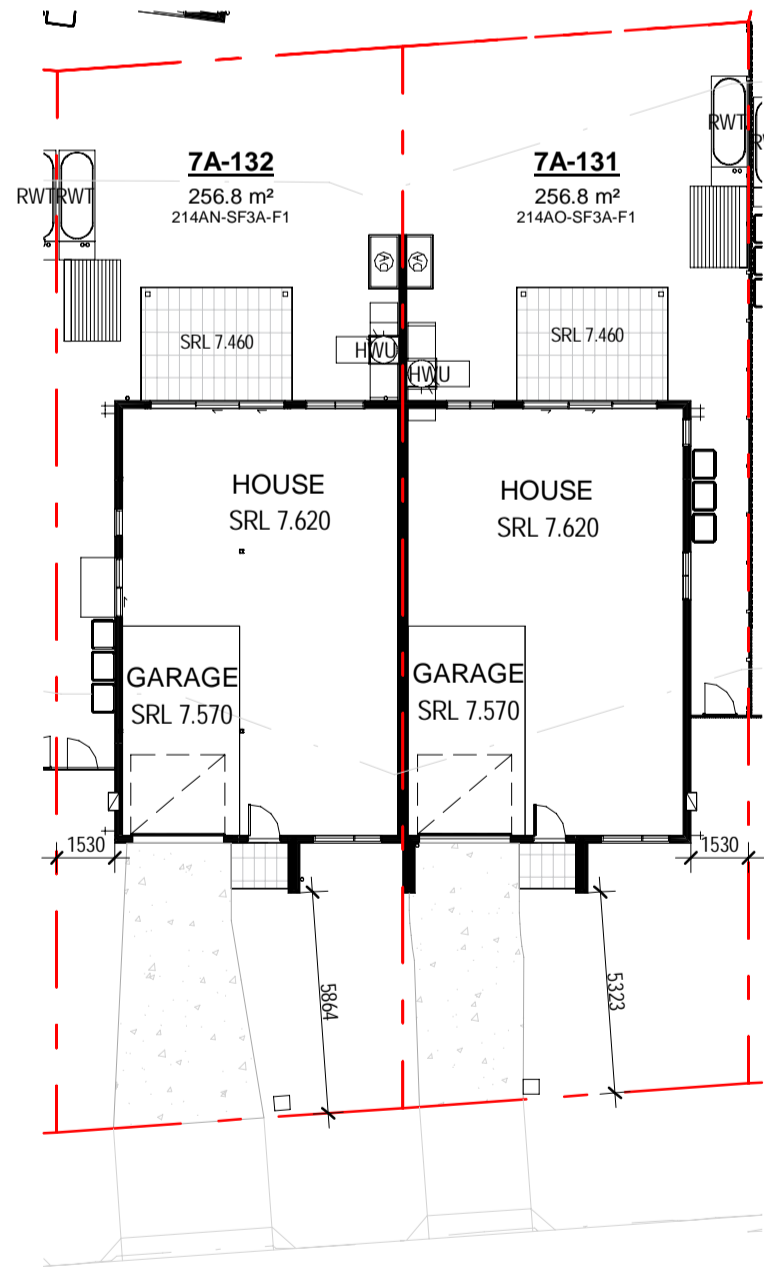
17 LOT 7A-131 SIDE ELEVATION



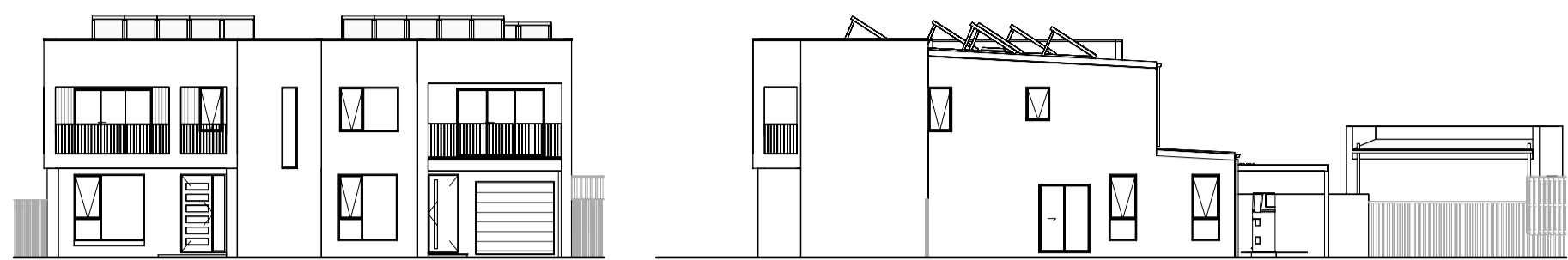
18 LOT 7A-132 SIDE ELEVATION



20 LOT 7A-131-132 REAR ELEVATION

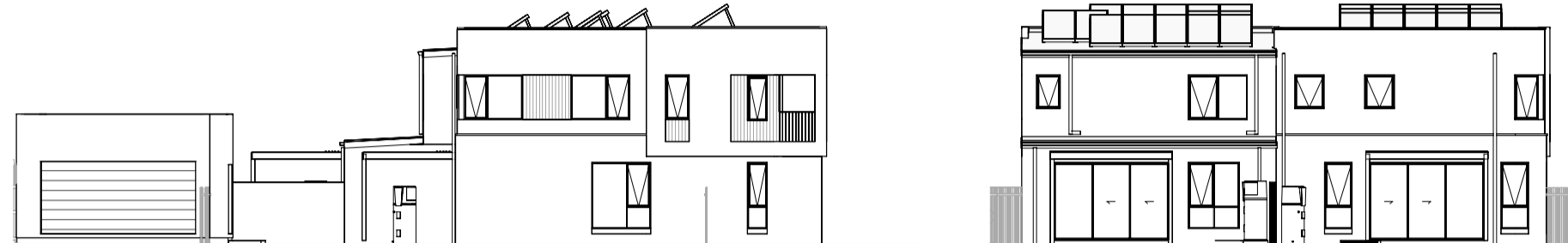


19 LOT 7A-131-132 NOTIFICATION PLAN



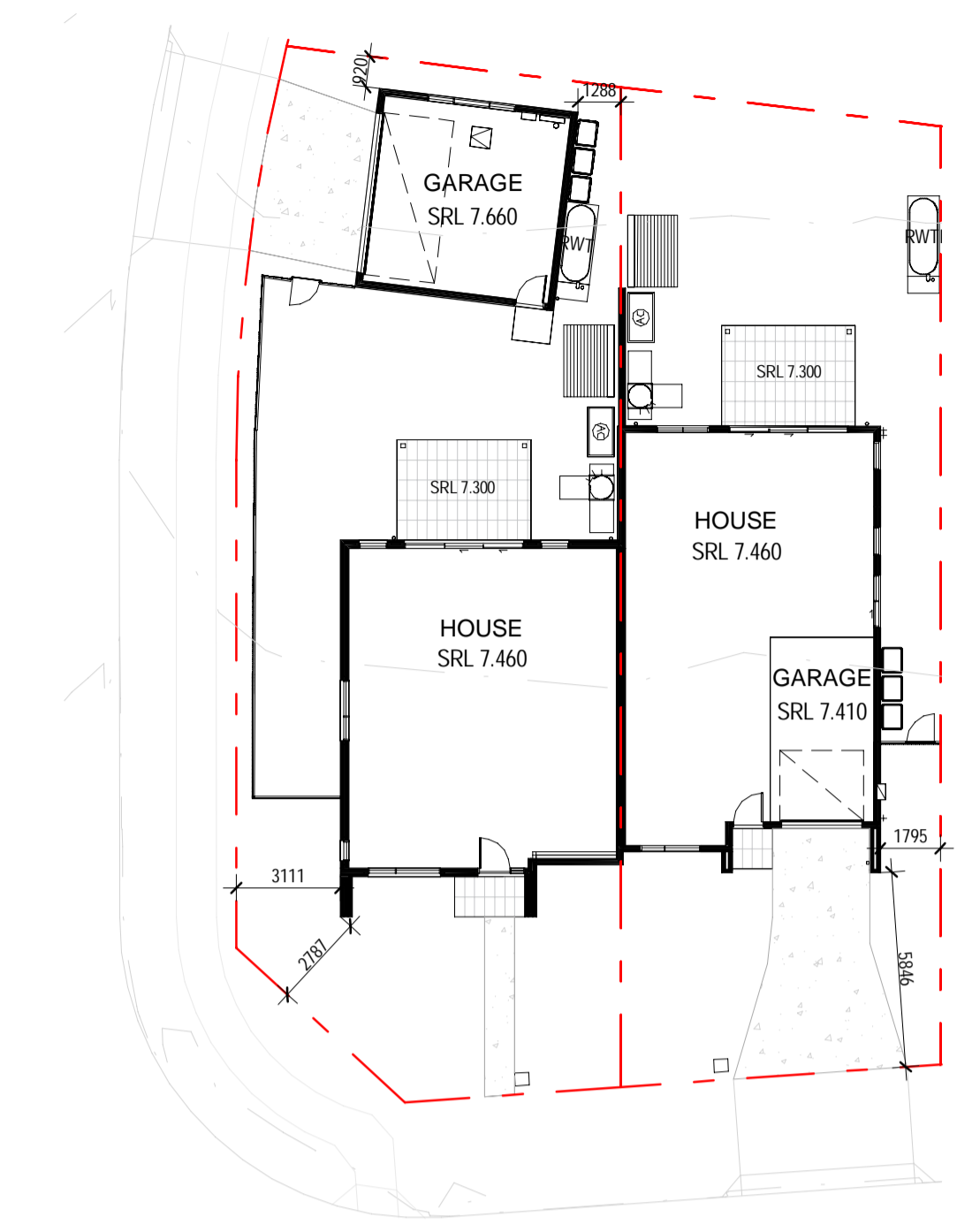
1 DA LOT 142-141 FRONT ELEVATION-

2 DA LOT 141 SIDE ELEVATION-

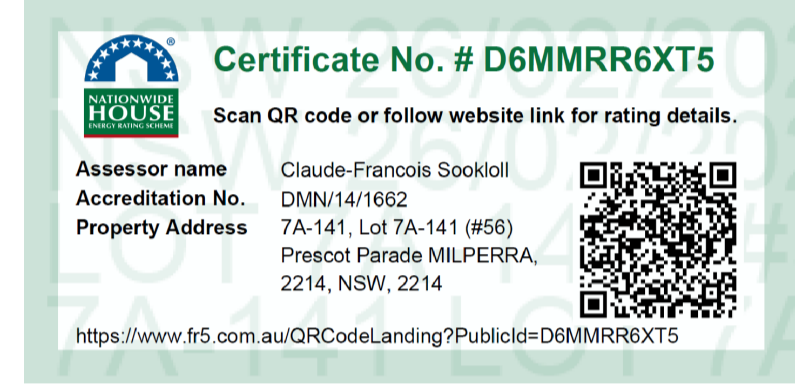


3 DA LOT 142 SIDE ELVATION-

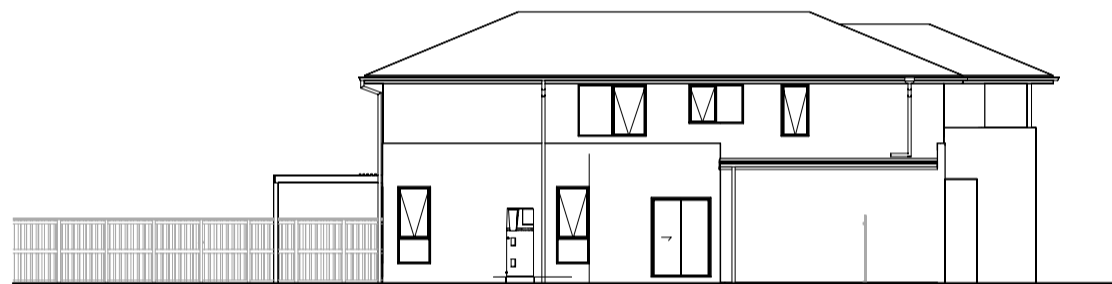
4 DA LOT 142-141 REAR ELEVATION-



5 LOT 7A-141-142 NOTIFICATION PLAN



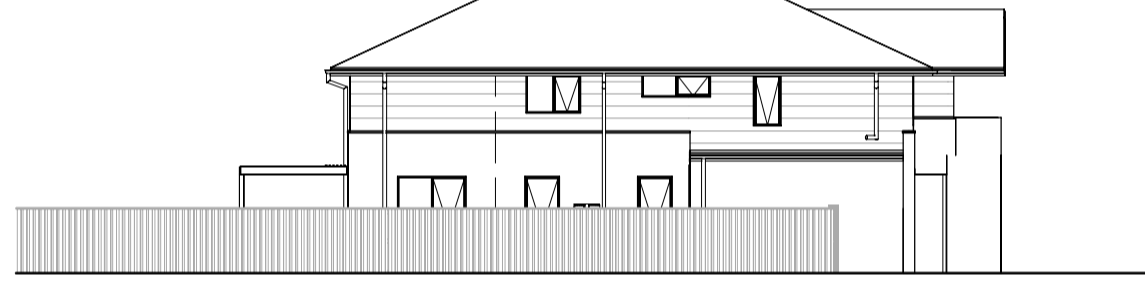
6 DA LOT 151 FRONT ELEVATION



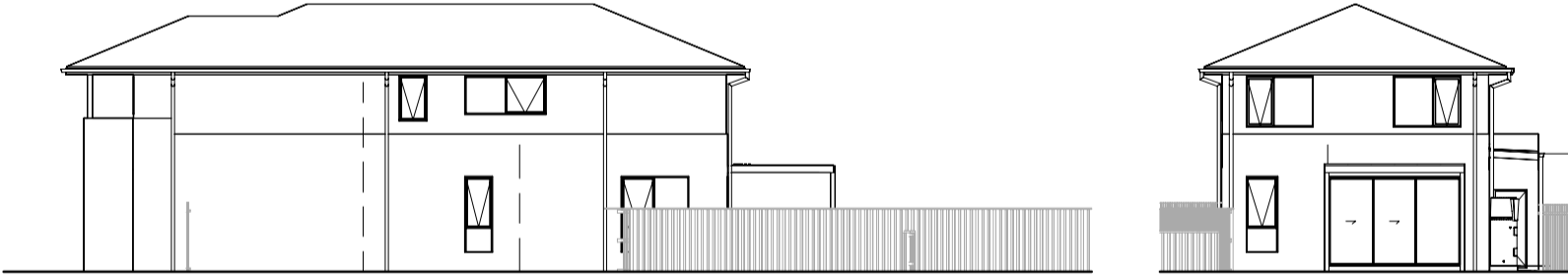
7 DA LOT 151 SIDE A ELEVATION



11 DA LOT 152 FRONT ELEVATION-

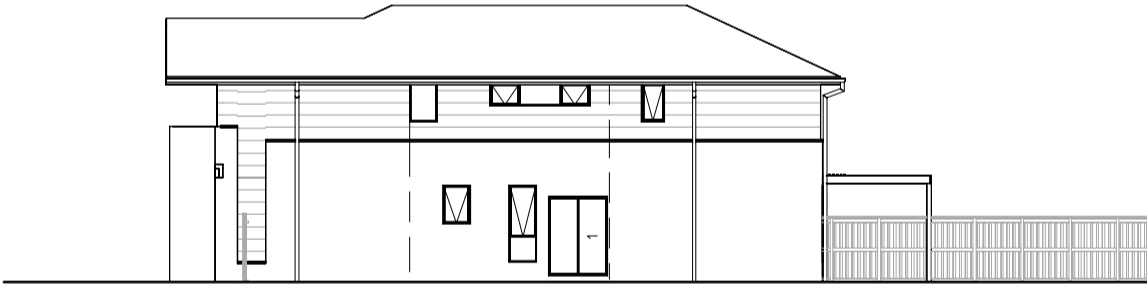


12 DA LOT 152 SIDE A ELEVATION-



8 DA LOT 151 SIDE B ELEVATION

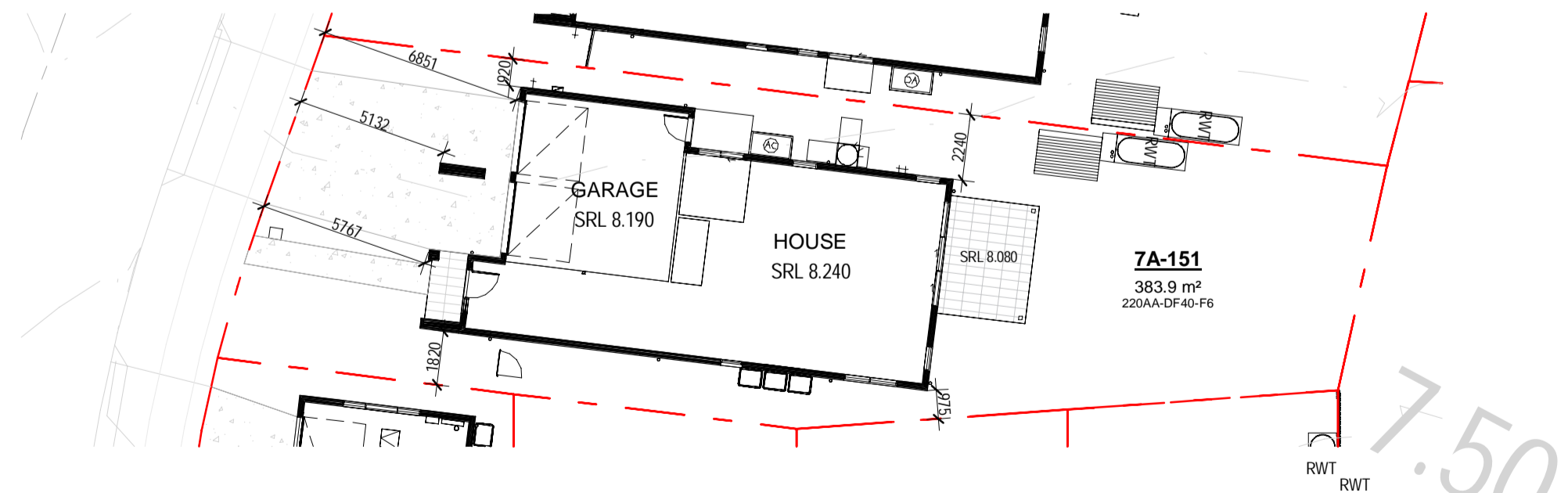
9 DA LOT 151 REAR LEVATION



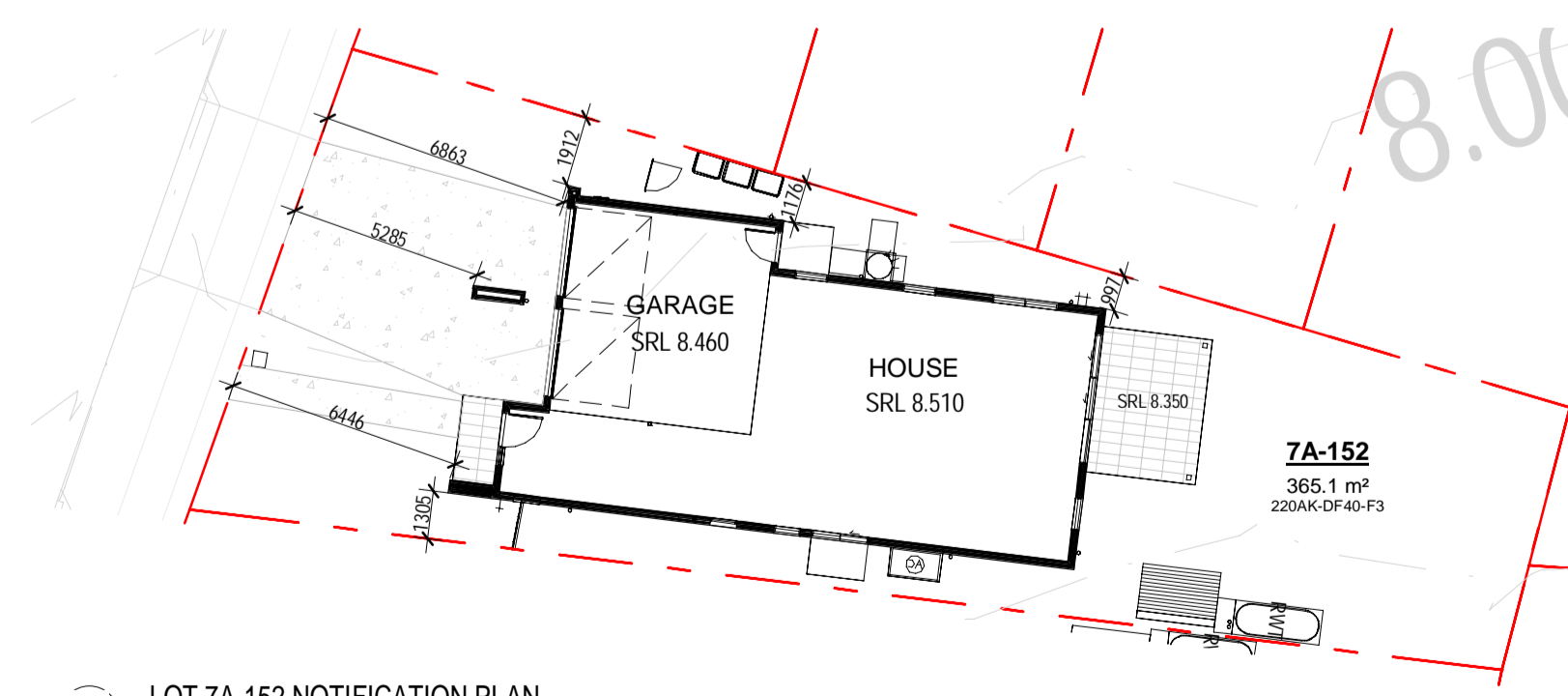
13 DA LOT 152 SIDE B ELEVATION-



14 DA LOT 152 REAR ELEVATION -



10 LOT 7A-151 NOTIFICATION PLAN



11 LOT 7A-152 NOTIFICATION PLAN

0mm

100mm

200mm

300mm

# SHADOW LEGEND

- SHADOW
- THREE STOREY BUILDING
- TWO STOREY BUILDING
- SINGLE STOREY BUILDING
- SOLAR PANELS - LOCATION SHOWN INDICATIVELY


40m<sup>2</sup> MINIMUM REQUIRED SUNLIGHT ACCESS

100mm

200mm

300mm

## 1 SHADOW DIAGRAM 9AM




**Certificate No. # D6MMRR6XT5**

Scan QR code or follow website link for rating details.

Assessor name  
Accreditation No.  
Property Address

Claude-Francois Sookkoll  
DMN/14/1662  
7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA,  
2214, NSW, 2214



<https://www.fr5.com.au/QRCodeLanding?PublicId=D6MMRR6XT5>

28.02.25  
31.01.25  
date

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ISSUE FOR DA SUBMISSION  
ISSUE FOR BASK ASSESSMENT

amendment

**MIRVAC DESIGN**  
Level 18, 108 George St  
Sydney NSW 2000  
Tel: 02 9460 8800  
Mirvac Design Pty Ltd  
ABN 76 001 191 113  
Mircac Design Nominees / Responsible Architects:  
Aislinn Venn, Michael Weller, David Hing, Andrew La  
[http://www.mirvacdesign.com/nominated\\_architects](http://www.mirvacdesign.com/nominated_architects)

client  
**mirvac**

project:  
**RIVERLANDS - MILPERRA**  
56 Prescot Parade, Milperra NSW 2214  
stage: 01  
site: 7A

title:  
**SHADOW PLAN 22 SEPT - 9AM**

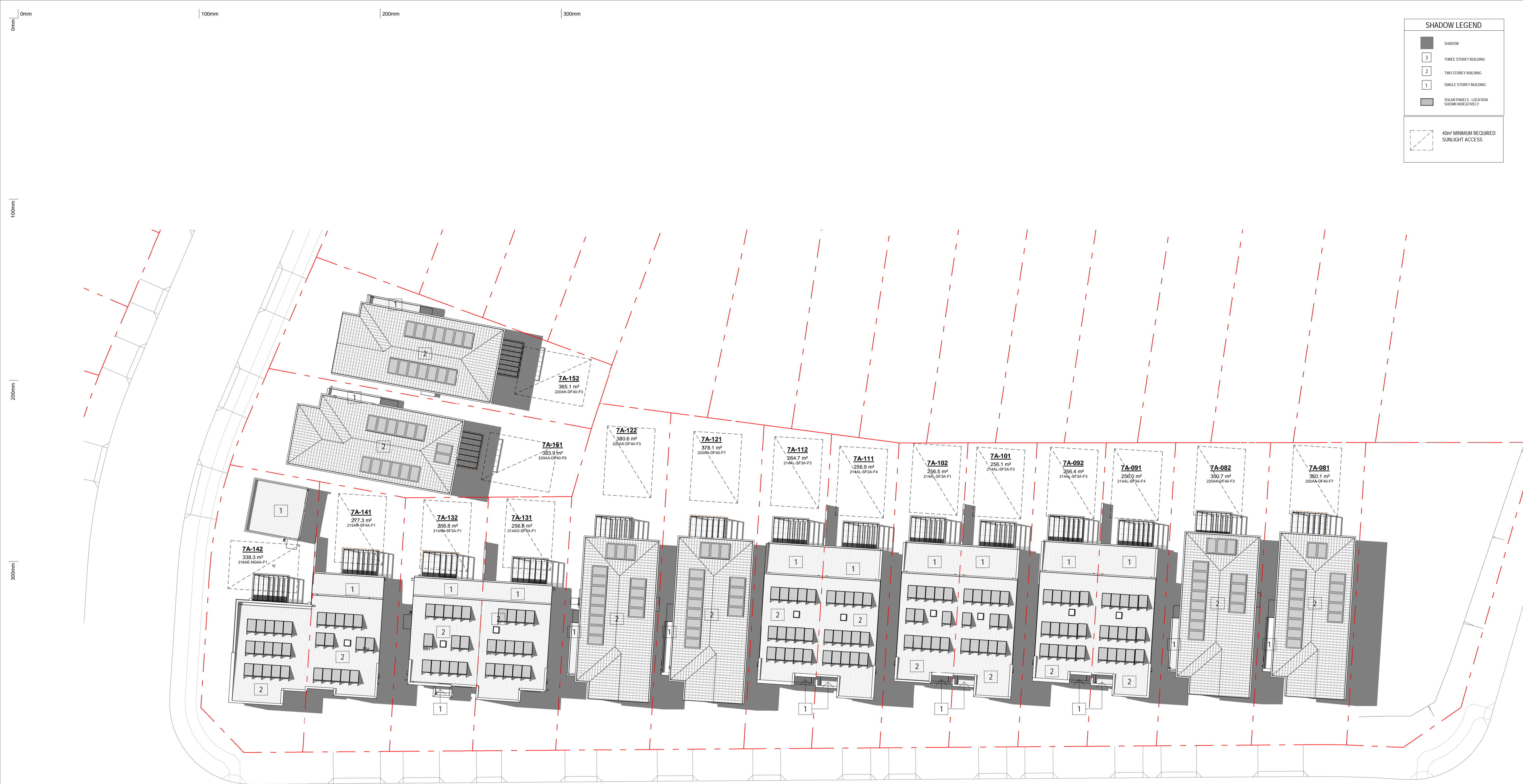
job no: MB-10245  
drawing no: 401

date: 28.02.25

scale @ A1: As indicated

rev: B

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1 SHADOW DIAGRAM 12NOON

**Certificate No. # D6MMRR6XT5**

Scan QR code or follow website link for rating details.

**Assessor name** Claude-Francois Sookkoll  
**Accreditation No.** DMN/14/1662  
**Property Address** 7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA  
2214, NSW, 2214

<https://www.fr5.com.au/QRCodeLanding?PublicId=D6MMRR6XT5>

28.02.25  
31.01.25  
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ISSUE FOR BASX ASSESSMENT

amendment

**MIRVAC DESIGN**  
Level 18, 108 George St  
Sydney NSW 2000  
Tel: 02 9460 8800

Mirvac Design Pty Ltd  
ABN 76 001 109 133

Mirvac Design Nominees / Responsible Architects:  
Asha Verma, Michael Weller, David Hing, Andrew La  
[http://www.mirvacdesign.com/nominees\\_and\\_architects](http://www.mirvacdesign.com/nominees_and_architects)

client:

**mirvac**

project:  
**RIVERLANDS - MILPERRA**  
56 Prescot Parade, Milperra NSW 2214  
stage: 01  
site: 7A

title:  
**SHADOW PLAN 22 SEPT - 12NOON**

job no: MB-10245  
drawing no: 402

date: 28.02.25

scale @ A1: As indicated

rev: B

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0mm

100mm

200mm

300mm

#### SHADOW LEGEND

- SHADOW
- THREE STOREY BUILDING
- TWO STOREY BUILDING
- SINGLE STOREY BUILDING
- SOLAR PANELS - LOCATION SHOWN INDICATIVELY


40m<sup>2</sup> MINIMUM REQUIRED SUNLIGHT ACCESS

100mm

200mm

300mm

2 SHADOW DIAGRAM 3PM




**Certificate No. # D6MMRR6XT5**

Scan QR code or follow website link for rating details.

Assessor name  
Accreditation No.  
Property Address

Claude-Francois Sookkoll  
DMN/14/1662  
7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA,  
2214, NSW, 2214



<https://www.fr5.com.au/QRCodeLanding?PublicId=D6MMRR6XT5>

28.02.25  
31.01.25  
date

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rev

ISSUE FOR DA SUBMISSION  
ISSUE FOR BASK ASSESSMENT

amendment

**MIRVAC DESIGN**  
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Mirvac Design Pty Ltd  
480-700, 108 George St  
Sydney NSW 2000  
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Asha Verma, Michael Weller, David Hing, Andrew La  
[http://www.mirvacdesign.com/nominees\\_and\\_architects](http://www.mirvacdesign.com/nominees_and_architects)

client  
**mirvac**

project:  
**RIVERLANDS - MILPERRA**  
56 Prescot Parade, Milperra NSW 2214  
stage: 01  
site: 7A

title:  
**SHADOW PLAN 22 SEPT - 3PM**

job no: MB-10245  
drawing no: 403

date: 28.02.25

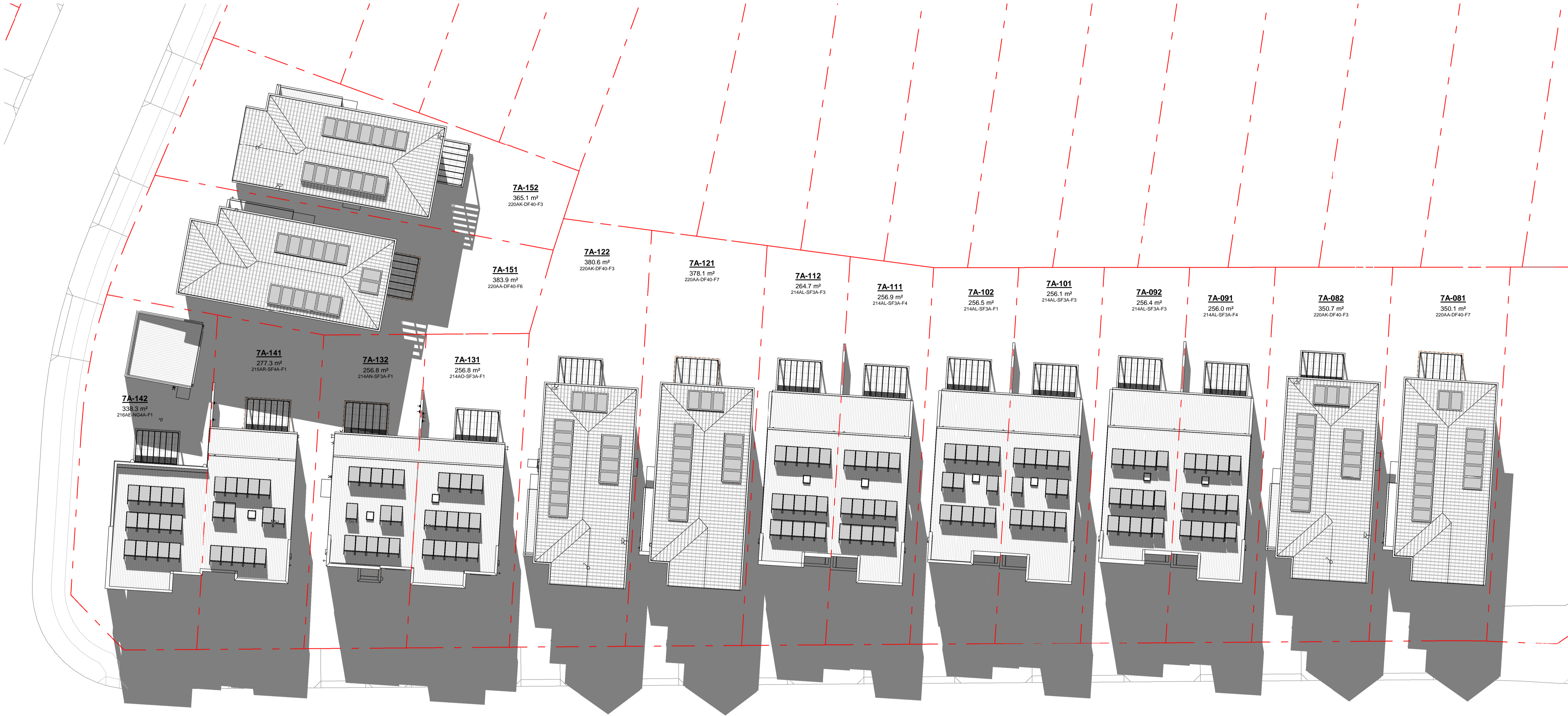
scale @ A1: As indicated

rev. B

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SOLAR COVERAGE IN PPOS											
Lot Number	House Model	9AM	10AM	11AM	12 NOON	1pm	2PM	3PM	4PM	5PM	Solar Compliance*
7A-081	220AA-DF40-F7	111.1 m²	111.1 m²	111.1 m²	111.1 m²	102.45 m²	90.9 m²	100.7 m²	55.8 m²	111.1 m²	Yes
7A-082	220AK-DF40-F3	111.1 m²	111.1 m²	111.1 m²	111.1 m²	101.78 m²	90.4 m²	100.5 m²	57.3 m²	111.1 m²	Yes
7A-091	214AL-SF3A-F4	88.4 m²	88.4 m²	88.4 m²	88.4 m²	83.40 m²	76.7 m²	81.2 m²	48.9 m²	88.4 m²	Yes
7A-092	214AL-SF3A-F3	84.6 m²	84.6 m²	84.6 m²	84.6 m²	84.59 m²	76.1 m²	79.9 m²	57.2 m²	84.6 m²	Yes
7A-101	214AL-SF3A-F3	88.9 m²	88.9 m²	88.9 m²	88.9 m²	83.92 m²	77.2 m²	81.8 m²	49.3 m²	88.9 m²	Yes
7A-102	214AL-SF3A-F1	85.1 m²	85.1 m²	85.1 m²	85.1 m²	81.80 m²	76.7 m²	80.4 m²	57.0 m²	85.1 m²	Yes
7A-111	214AL-SF3A-F4	92.0 m²	92.0 m²	92.0 m²	92.0 m²	92.00 m²	80.6 m²	84.4 m²	53.2 m²	92.0 m²	Yes
7A-112	214AL-SF3A-F3	95.8 m²	95.8 m²	95.8 m²	95.8 m²	92.30 m²	87.4 m²	90.9 m²	69.1 m²	95.8 m²	Yes
7A-121	220AA-DF40-F7	142.2 m²	142.2 m²	142.2 m²	142.2 m²	133.18 m²	122.0 m²	131.9 m²	89.0 m²	142.2 m²	Yes
7A-122	220AK-DF40-F3	144.2 m²	144.2 m²	144.2 m²	144.2 m²	135.08 m²	124.2 m²	133.4 m²	89.0 m²	144.2 m²	Yes
7A-131	214AO-SF3A-F1	87.9 m²	87.9 m²	87.9 m²	87.9 m²	84.18 m²	74.9 m²	82.0 m²	28.4 m²	87.9 m²	Yes
7A-132	214AN-SF3A-F1	30.4 m²	61.0 m²	81.9 m²	81.9 m²	79.08 m²	72.1 m²	77.7 m²	41.4 m²	81.9 m²	Yes
7A-141	215AR-SF4A-F1	37.0 m²	64.9 m²	91.3 m²	91.3 m²	86.50 m²	76.6 m²	83.5 m²	34.5 m²	91.3 m²	Yes
7A-142	216AE-NG4A-F1	58.9 m²	77.3 m²	100.1 m²	90.1 m²	85.14 m²	<varies>	82.7 m²	43.0 m²	100.1 m²	Yes
7A-151	220AA-DF40-F6	77.8 m²	102.0 m²	127.8 m²	91.1 m²	127.80 m²	105.6 m²	89.0 m²	117.5 m²	127.8 m²	Yes
7A-152	220AK-DF40-F3	87.5 m²	93.0 m²	105.4 m²	67.5 m²	84.76 m²	87.5 m²	73.3 m²	98.2 m²	105.4 m²	Yes

\* DCP REQUIREMENT :  
A MINIMUM OF 50% OF THE PRIVATE OPEN SPACE  
REQUIRED FOR THE PRINCIPAL DWEILLING ON ADJOINING  
LOT TO RECEIVE AT LEAST 3HOURS OF SUNLIGHT BETWEEN  
9am AND 5pm AT THE EQUINOX



1 SHADOW ANALYSIS 8.30AM

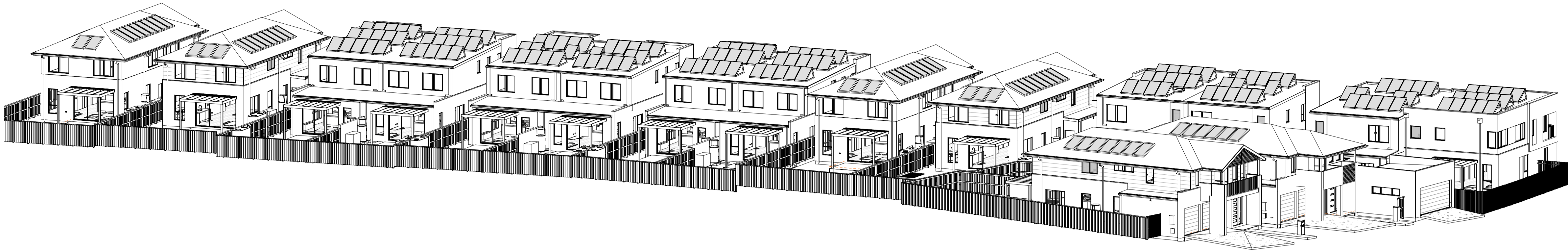
**Certificate No. # D6MMRR6XT5**  
Scan QR code or follow website link for rating details.

Assessor name  
Accreditation No.  
Property Address

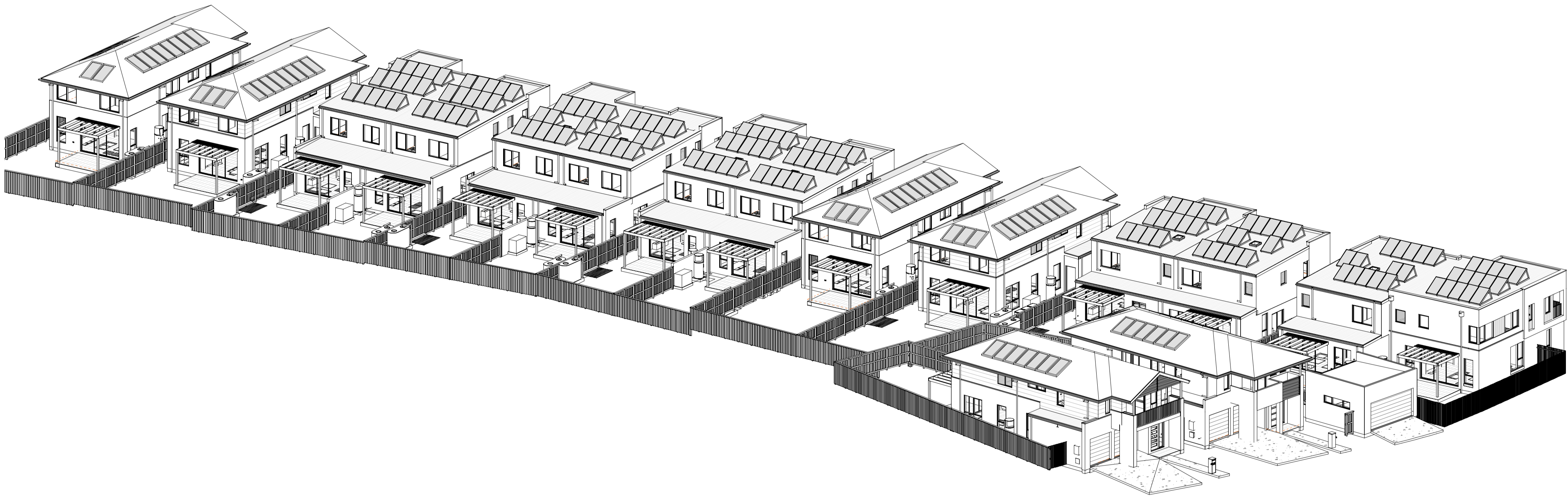
Claude-Francois Sookkoll  
DMN/14/1662  
7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA,  
2214, NSW, 2214

<https://www.fr5.com.au/QRCodeLanding?PublicId=D6MMRR6XT5>


DCP REQUIREMENT:  
AT LEAST ONE LIVING AREA TO RECEIVE MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 8:00AM AND 4:00PM AT THE MID-WINTER SOLSTICE. COUNCIL MAY ALLOW LIGHT WELLS AND SKYLIGHTS TO SUPPLEMENT THIS ACCESS TO SUNLIGHT PROVIDED THESE BUILDING ELEMENTS ARE NOT THE PRIMARY SOURCE OF SUNLIGHT TO THE LIVING AREAS.



1 Sun eye view - 21 Jun - 08\_00 AM



2 Sun eye view - 21 Jun - 09\_00 AM




Certificate No. # D6MMRR6XT5

Scan QR code or follow website link for rating details.

Assessor name  
Accreditation No.  
Property Address

Claude-Francois Sookkoll  
DMN/14/1662  
7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA,  
2214, NSW, 2214




<https://www.fr5.com.au/QRCodeLanding?PublicId=D6MMRR6XT5>

DCP REQUIREMENT:  
AT LEAST ONE LIVING AREA TO RECEIVE MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 8:00AM AND 4:00PM AT THE MID-WINTER SOLSTICE. COUNCIL MAY ALLOW LIGHT WELLS AND SKYLIGHTS TO SUPPLEMENT THIS ACCESS TO SUNLIGHT PROVIDED THESE BUILDING ELEMENTS ARE NOT THE PRIMARY SOURCE OF SUNLIGHT TO THE LIVING AREAS.

1 Sun eye view - 21 Jun - 10\_00 AM

2 Sun eye view - 21 Jun - 11\_00 AM




**Certificate No. # D6MMRR6XT5**

Scan QR code or follow website link for rating details.

Assessor name  
Accreditation No.  
Property Address

Claude-Francois Sookloll  
DMN/14/1662  
7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA,  
2214, NSW, 2214



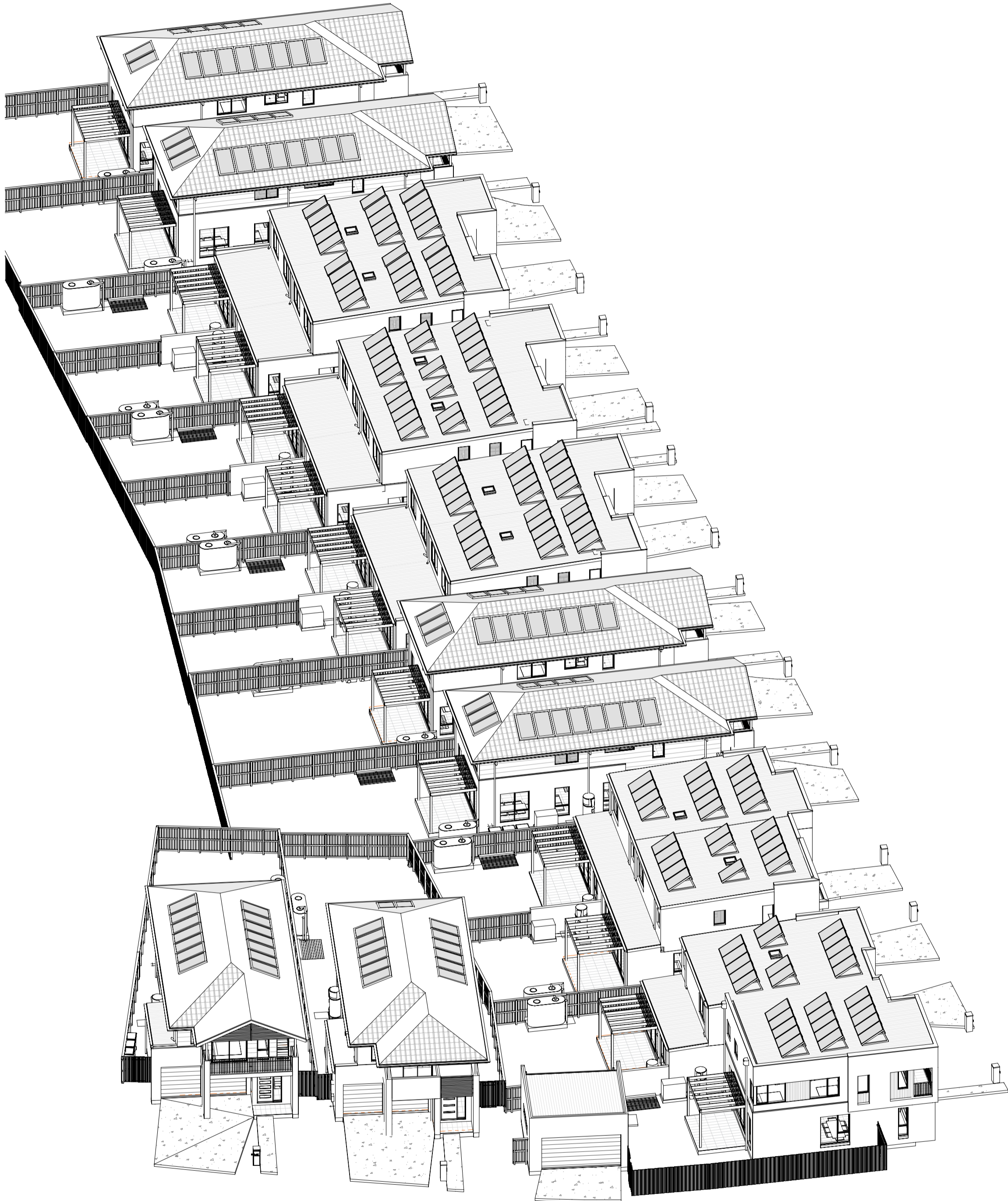
<https://www.fr5.com.au/QRCodeLanding?PublicId=D6MMRR6XT5>

DCP REQUIREMENT:  
AT LEAST ONE LIVING AREA TO RECEIVE MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 8:00AM AND 4:00PM AT THE MID-WINTER SOLSTICE. COUNCIL MAY ALLOW LIGHT WELLS AND SKYLIGHTS TO SUPPLEMENT THIS ACCESS TO SUNLIGHT PROVIDED THESE BUILDING ELEMENTS ARE NOT THE PRIMARY SOURCE OF SUNLIGHT TO THE LIVING AREAS.

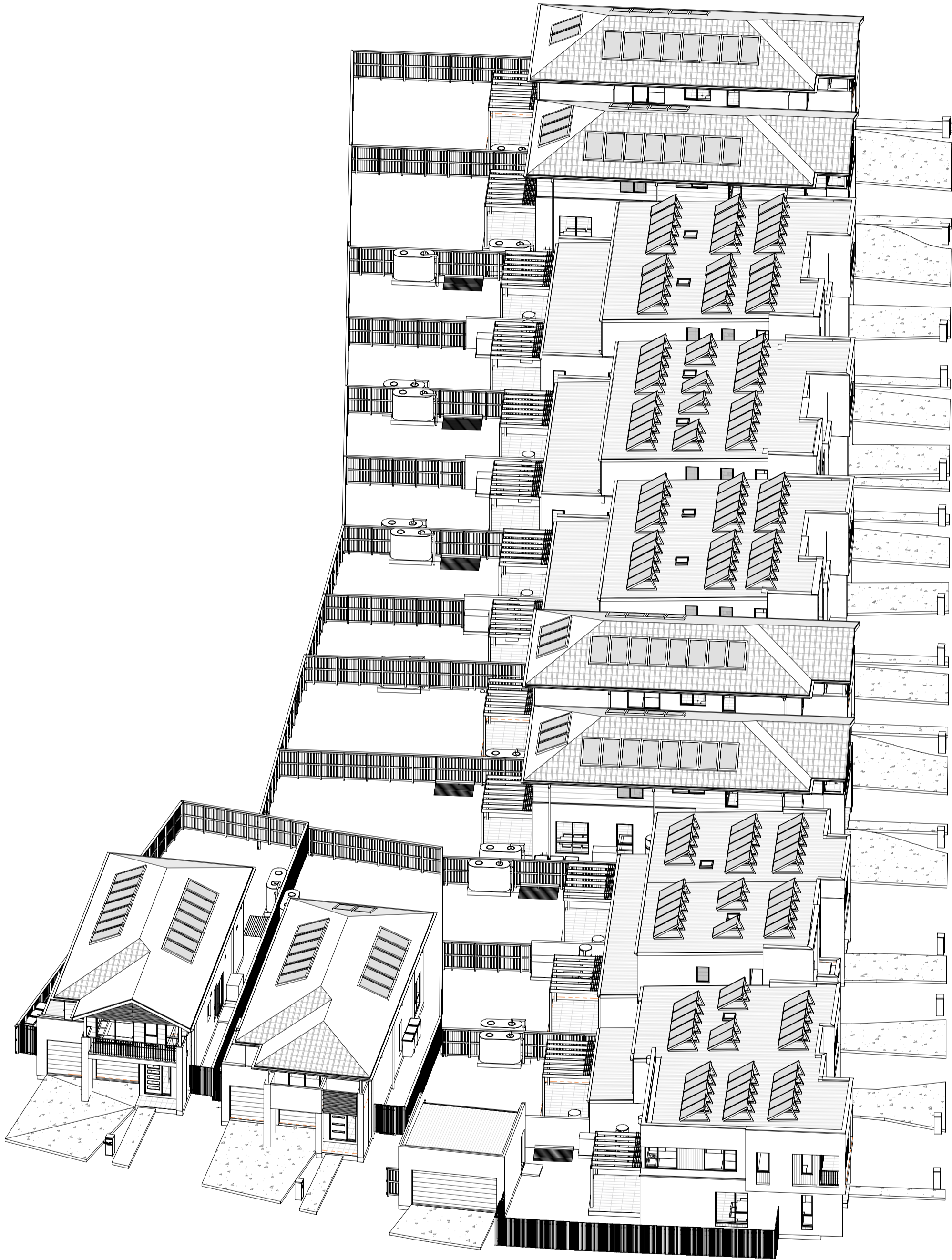
100mm

200mm


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1 Sun eye view - 21 Jun - 12\_00 PM



2 Sun eye view - 21 Jun - 13\_00 PM




**Certificate No. # D6MMRR6XT5**

Scan QR code or follow website link for rating details.

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Accreditation No.  
Property Address

Claude-Francois Sookkoll  
DMN/14/1662  
7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA,  
2214, NSW, 2214



<https://www.fr5.com.au/QRCodeLanding?PublicId=D6MMRR6XT5>

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100mm

200mm

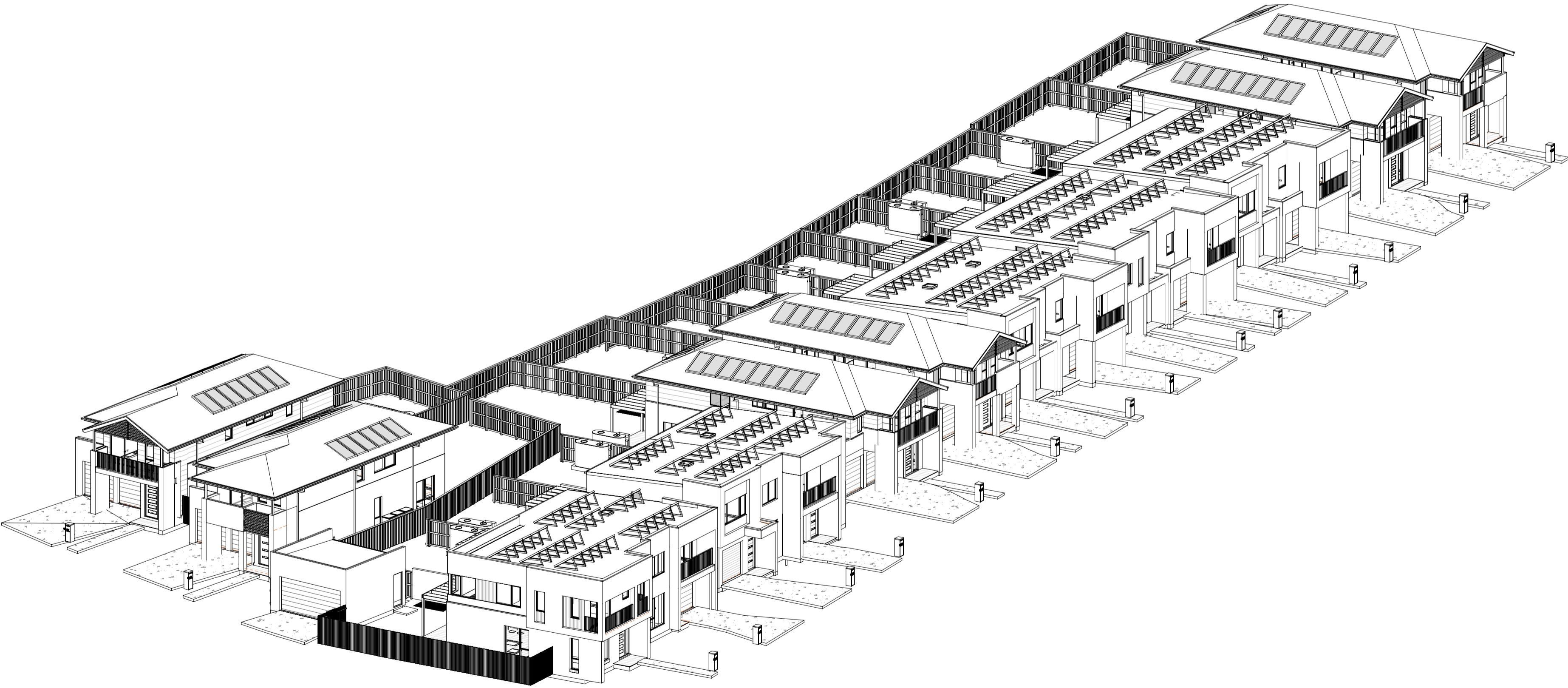
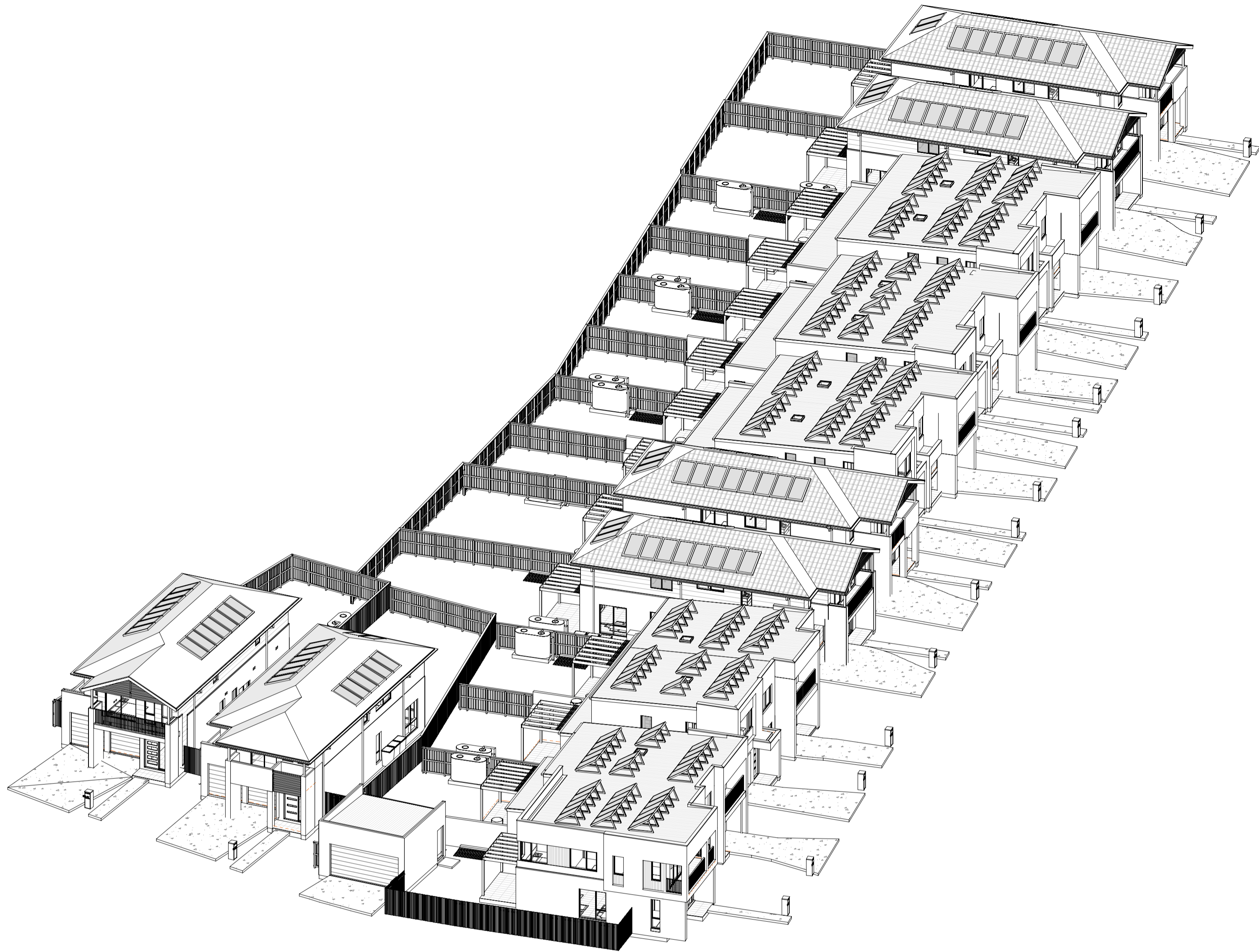
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DCP REQUIREMENT:  
AT LEAST ONE LIVING AREA TO RECEIVE MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 8:00AM AND 4:00PM AT THE MID-WINTER SOLSTICE. COUNCIL MAY ALLOW LIGHT WELLS AND SKYLIGHTS TO SUPPLEMENT THIS ACCESS TO SUNLIGHT PROVIDED THESE BUILDING ELEMENTS ARE NOT THE PRIMARY SOURCE OF SUNLIGHT TO THE LIVING AREAS.






**Certificate No. # D6MMRR6XT5**

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Assessor name  
Accreditation No.  
Property Address

Claude-Francois Sookkoll  
DMN/14/1662  
7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA,  
2214, NSW, 2214



<https://www.fr5.com.au/QRCodeLanding?PublicId=D6MMRR6XT5>

2 Sun eye view - 21 Jun - 15\_00 PM

28.02.25	B	ISSUE FOR DA SUBMISSION	
31.01.25	A	ISSUE FOR BASK ASSESSMENT	
date	rev		amendment

**MIRVAC DESIGN**  
Level 18, 108 George St  
Sydney NSW 2000  
T: 02 9460 8800  
M: 0411 79 801 139 133  
Mirvac Design Nominees / Responsible Architects:  
Asha Verma, Michael Wiener, David Hing, Andrew La  
[http://www.mirvacdesign.com/nominated\\_architects](http://www.mirvacdesign.com/nominated_architects)

client  
**mirvac**

project:  
**RIVERLANDS - MILPERRA**  
56 Prescot Parade, Milperra NSW 2214  
stage: 01  
site: 7A

title:  
**SUN EYE VIEWS - 21 JUNE - 2pm - 3pm**

job no: MB-10245  
drawing no: 413

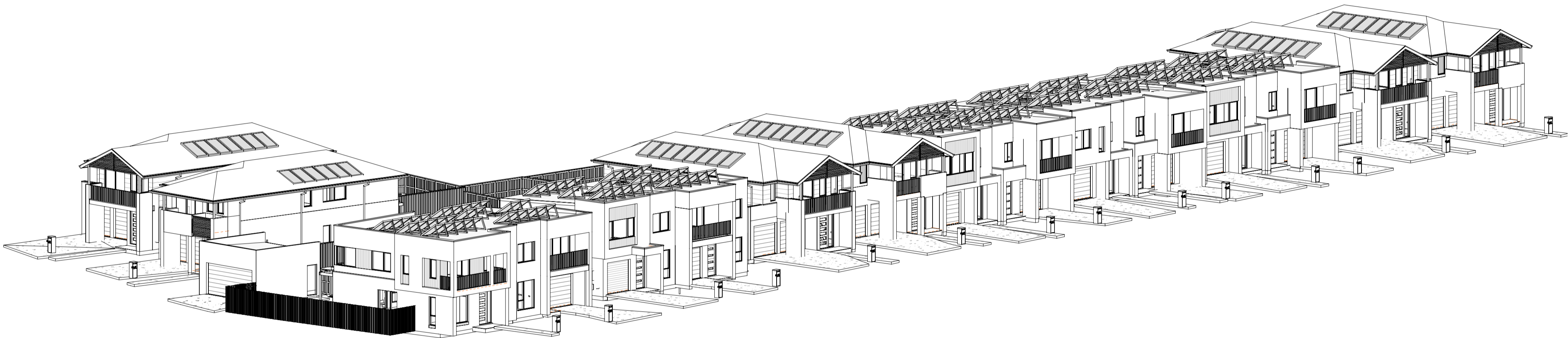
date: 28.02.25

scale @ A1:


rev: B

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DCP REQUIREMENT:  
AT LEAST ONE LIVING AREA TO RECEIVE MINIMUM OF 3 HOURS OF SUNLIGHT BETWEEN 8:00AM AND 4:00PM AT THE MID-WINTER SOLSTICE. COUNCIL MAY ALLOW LIGHT WELLS AND SKYLIGHTS TO SUPPLEMENT THIS ACCESS TO SUNLIGHT PROVIDED THESE BUILDING ELEMENTS ARE NOT THE PRIMARY SOURCE OF SUNLIGHT TO THE LIVING AREAS.




1 Sun eye view - 21 Jun - 16\_00 PM



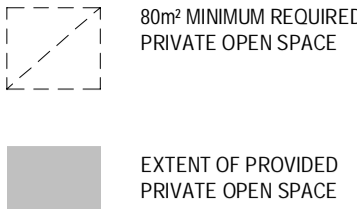
**Certificate No. # D6MMRR6XT5**

Scan QR code or follow website link for rating details.

**Assessor name** Claude-Francois Sookkoll  
**Accreditation No.** DMN/14/1662  
**Property Address** 7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA,  
2214, NSW, 2214



<https://www.fr5.com.au/QRCodeLanding?PubId=D6MMRR6XT5>




Site 7A - FRONT LANDSCAPED AREA SCHEDULE				
ZACW	Frontyard Area	Landscaped Frontyard Area	Landscaped Frontyard (min 45%)	Complies (min 45%)
7A-081	81.33 m²	33.82 m²	41.59%	No
7A-082	79.34 m²	33.65 m²	42.41%	No
7A-091	56.52 m²	30.27 m²	53.56%	Yes
7A-092	61.87 m²	28.27 m²	45.70%	Yes
7A-101	56.51 m²	25.68 m²	45.44%	Yes
7A-102	61.46 m²	28.79 m²	46.84%	Yes
7A-111	55.29 m²	30.31 m²	54.82%	Yes
7A-112	60.59 m²	27.60 m²	45.56%	Yes
7A-121	77.73 m²	35.12 m²	45.19%	Yes
7A-122	78.10 m²	33.59 m²	43.01%	No
7A-131	64.00 m²	44.56 m²	69.63%	Yes
7A-132	68.10 m²	43.64 m²	64.08%	Yes
7A-141	72.61 m²	44.76 m²	61.64%	Yes
7A-142	102.11 m²	81.24 m²	79.56%	Yes
7A-151	86.17 m²	41.26 m²	47.88%	Yes
7A-152	96.13 m²	49.47 m²	51.47%	Yes

Site -7A - LANDSCAPED AREA SCHEDULE					
Lot Number	Lot_Area	Soft Landscape Area	Landscape Area req (min 20%)	Landscaped Area Provided (%)	Complies
7A-081	350.1 m²	164.46 m²	70.02 m²	46.98%	Yes
7A-082	350.7 m²	166.84 m²	70.14 m²	47.57%	Yes
7A-091	256.0 m²	120.25 m²	51.2 m²	46.97%	Yes
7A-092	256.4 m²	113.90 m²	51.28 m²	44.42%	Yes
7A-101	256.1 m²	115.27 m²	51.22 m²	45.01%	Yes
7A-102	256.5 m²	114.96 m²	51.3 m²	44.82%	Yes
7A-111	256.9 m²	122.18 m²	51.38 m²	47.56%	Yes
7A-112	264.7 m²	123.11 m²	52.94 m²	46.51%	Yes
7A-121	378.1 m²	198.69 m²	75.62 m²	52.55%	Yes
7A-122	380.6 m²	198.98 m²	76.12 m²	52.28%	Yes
7A-131	256.8 m²	134.94 m²	51.36 m²	52.55%	Yes
7A-132	256.8 m²	127.55 m²	51.36 m²	49.67%	Yes
7A-141	277.3 m²	140.39 m²	55.46 m²	50.63%	Yes
7A-142	338.3 m²	81.24 m²	67.66 m²	24.01%	Yes
7A-151	383.9 m²	201.54 m²	76.78 m²	52.50%	Yes
7A-152	365.1 m²	179.88 m²	73.02 m²	49.27%	Yes

AREA SCHEDULE - TOTAL POS


Lot No	POS AREA
7A-081	111.9 m²
7A-082	111.1 m²
7A-091	88.4 m²
7A-092	84.7 m²
7A-101	88.9 m²
7A-102	85.1 m²
7A-111	92.0 m²
7A-112	95.8 m²
7A-121	142.2 m²
7A-122	144.0 m²
7A-131	88.2 m²
7A-132	82.2 m²
7A-141	90.7 m²
7A-142	100.2 m²
7A-151	127.8 m²
7A-152	104.8 m²



**Certificate No. # D6MMRR6XT5**

Scan QR code or follow website link for rating details.

Assessor name Claude-Francois Sookkoll  
Accreditation No. DMN/14/1662  
Property Address 7A-141, Lot 7A-141 (#56)  
Prescot Parade MILPERRA,  
2214, NSW, 2214



<https://www.fr5.com.au/QRCodeLanding?PubId=D6MMRR6XT5>



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Site 7A - GFA schedule for FSR calc. P1			
Lot No.	Lot_Area	Total Area*	FSR

7A-081	350.1 m²	175.53 m²	50.14%
7A-082	350.7 m²	175.32 m²	49.99%
7A-091	256.0 m²	126.90 m²	49.57%
7A-092	256.4 m²	126.42 m²	49.30%
7A-101	256.1 m²	126.85 m²	49.53%
7A-102	256.5 m²	126.89 m²	49.47%
7A-111	256.9 m²	126.80 m²	49.36%
7A-112	264.7 m²	126.89 m²	47.94%

Site 7A - GFA schedule for FSR calc. P2			
Lot No.	Lot_Area	Total Area*	FSR

7A-121	376.1 m²	175.52 m²	46.67%
7A-122	380.6 m²	175.26 m²	46.05%
7A-131	256.0 m²	127.31 m²	49.73%
7A-132	256.8 m²	127.47 m²	49.64%
7A-141	277.3 m²	137.62 m²	49.63%
7A-142	338.3 m²	146.66 m²	43.35%
7A-151	383.9 m²	175.50 m²	45.72%
7A-152	365.1 m²	175.27 m²	48.01%

Site 7A - GFA schedule for FSR calc.-1		
Lot No.	Name	Area*

7A-081	First Floor	99.03 m²
7A-081	Ground Floor	76.50 m²
		175.53 m²

7A-082	First Floor	98.11 m²
7A-082	Ground Floor	77.22 m²
		175.32 m²

7A-091	First Floor	62.40 m²
7A-091	Ground Floor	64.50 m²
		126.90 m²

7A-092	First Floor	62.39 m²
7A-092	Ground Floor	64.03 m²
		126.42 m²

7A-101	First Floor	62.39 m²
7A-101	Ground Floor	64.46 m²
		126.85 m²

7A-102	First Floor	62.40 m²
7A-102	Ground Floor	64.49 m²
		126.89 m²

7A-111	First Floor	62.31 m²
7A-111	Ground Floor	64.49 m²
		126.80 m²

7A-112	First Floor	62.40 m²
7A-112	Ground Floor	64.49 m²
		126.89 m²

Site 7A - GFA schedule for FSR calc.-2		
Lot No.	Name	Area*

7A-121	First Floor	99.03 m²
7A-121	Ground Floor	76.49 m²
		175.52 m²

7A-122	First Floor	98.11 m²
7A-122	Ground Floor	77.15 m²
		175.26 m²

7A-131	First Floor	62.07 m²
7A-131	Ground Floor	65.24 m²
		127.31 m²


7A-132	First Floor	62.32 m²
7A-132	Ground Floor	65.15 m²
		127.47 m²

7A-141	First Floor	65.92 m²
7A-141	Ground Floor	71.70 m²
		137.62 m²

7A-142	First Floor	70.80 m²
7A-142	Ground Floor	75.86 m²
		146.66 m²

7A-151	First Floor	99.02 m²
7A-151	Ground Floor	76.48 m²
		175.50 m²

7A-152	First Floor	98.10 m²
7A-152	Ground Floor	77.17 m²
		175.27 m²



Certificate No. # D6MMRR6XT5

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Assessor name

Accreditation No.

Property Address


Claude-Francois Sockloli

DMN/14/1662

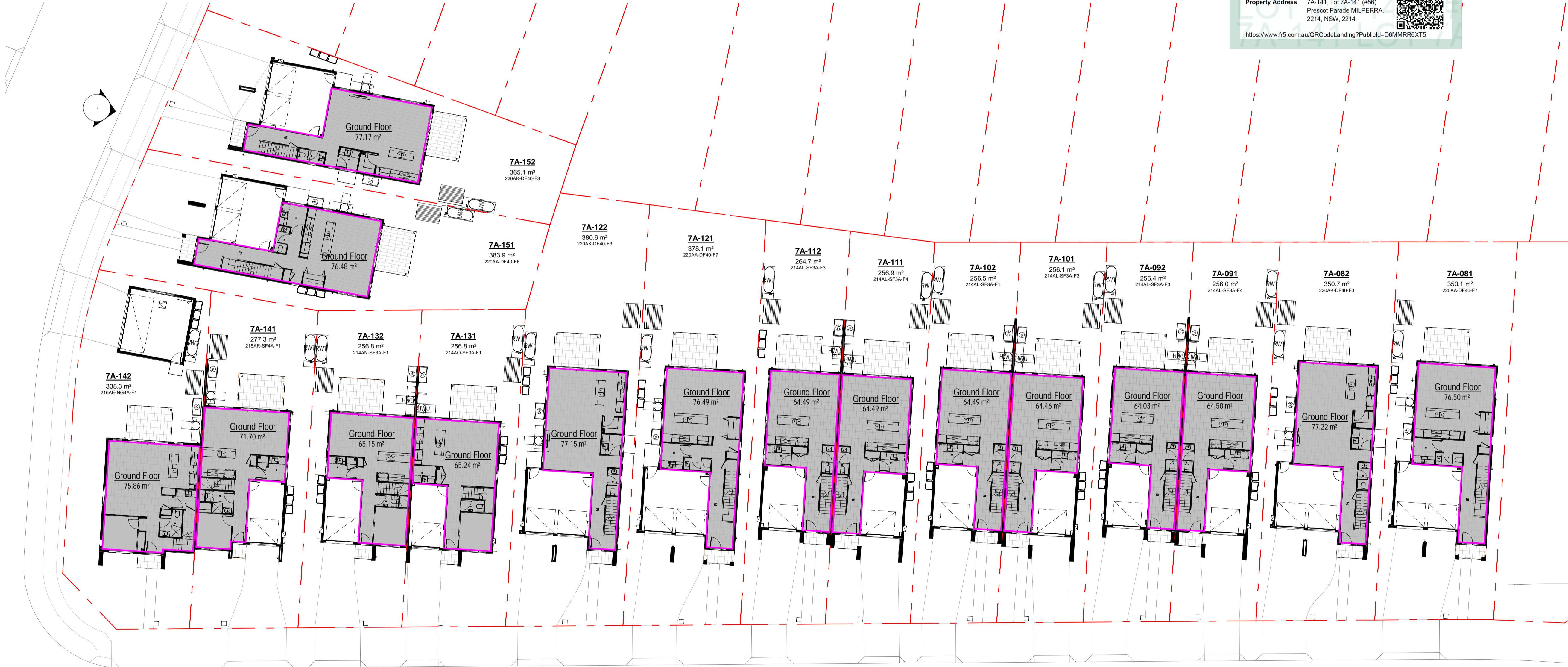
7A-141, Lot 7A-141 (#56)

Prescot Parade MILPERRA,

2214, NSW, 2214



https://www.fr5.com.au/QRCodeLanding?PublicId=D6MMRR6XT5



**NOTE:**

- AREAS INCLUDED ON FSR CALCULATIONS IS SHOWN AS GREY SHADING ON SHEET FSR / GFA AREA PLANS

0mm 100mm 200mm 300mm

NOTE:

• AREAS INCLUDED ON FSR CALCULATIONS IS SHOWN AS GREY SHADING ON SHEET FSR / GFA AREA PLANS

Site 7A - GFA schedule for FSR calc. P1			
Lot No.	Lot_Area	Total Area*	FSR
7A-081	350.1 m <sup>2</sup>	175.53 m <sup>2</sup>	50.14%
7A-082	350.7 m <sup>2</sup>	175.32 m <sup>2</sup>	49.99%
7A-091	256.0 m <sup>2</sup>	126.90 m <sup>2</sup>	49.57%
7A-092	256.4 m <sup>2</sup>	126.42 m <sup>2</sup>	49.30%
7A-101	256.1 m <sup>2</sup>	126.85 m <sup>2</sup>	49.53%
7A-102	256.5 m <sup>2</sup>	126.89 m <sup>2</sup>	49.47%
7A-111	256.9 m <sup>2</sup>	126.80 m <sup>2</sup>	49.36%
7A-112	264.7 m <sup>2</sup>	126.89 m <sup>2</sup>	47.94%

Site 7A - GFA schedule for FSR calc. P2			
Lot No.	Lot_Area	Total Area*	FSR
7A-121	376.1 m <sup>2</sup>	175.52 m <sup>2</sup>	46.67%
7A-122	380.6 m <sup>2</sup>	175.26 m <sup>2</sup>	46.05%
7A-131	256.0 m <sup>2</sup>	127.31 m <sup>2</sup>	49.73%
7A-132	256.8 m <sup>2</sup>	127.47 m <sup>2</sup>	49.64%
7A-141	277.3 m <sup>2</sup>	137.62 m <sup>2</sup>	49.63%
7A-142	338.3 m <sup>2</sup>	146.66 m <sup>2</sup>	43.35%
7A-151	383.9 m <sup>2</sup>	175.50 m <sup>2</sup>	45.72%
7A-152	365.1 m <sup>2</sup>	175.27 m <sup>2</sup>	48.01%

Site 7A - GFA schedule for FSR calc.-1		
Lot No.	Name	Area*

7A-081	First Floor	99.03 m <sup>2</sup>
7A-081	Ground Floor	76.50 m <sup>2</sup>
		175.53 m <sup>2</sup>

7A-082	First Floor	98.11 m <sup>2</sup>
7A-082	Ground Floor	77.22 m <sup>2</sup>
		175.32 m <sup>2</sup>

7A-091	First Floor	62.40 m <sup>2</sup>
7A-091	Ground Floor	64.50 m <sup>2</sup>
		126.90 m <sup>2</sup>

7A-092	First Floor	62.39 m <sup>2</sup>
7A-092	Ground Floor	64.03 m <sup>2</sup>
		126.42 m <sup>2</sup>

7A-101	First Floor	62.39 m <sup>2</sup>
7A-101	Ground Floor	64.46 m <sup>2</sup>
		126.85 m <sup>2</sup>

7A-102	First Floor	62.40 m <sup>2</sup>
7A-102	Ground Floor	64.49 m <sup>2</sup>
		126.89 m <sup>2</sup>

7A-111	First Floor	62.31 m <sup>2</sup>
7A-111	Ground Floor	64.49 m <sup>2</sup>
		126.80 m <sup>2</sup>

7A-112	First Floor	62.40 m <sup>2</sup>
7A-112	Ground Floor	64.49 m <sup>2</sup>
		126.89 m <sup>2</sup>

Site 7A - GFA schedule for FSR calc.-2		
Lot No.	Name	Area*

7A-121	First Floor	99.03 m <sup>2</sup>
7A-121	Ground Floor	76.49 m <sup>2</sup>
		175.52 m <sup>2</sup>

7A-122	First Floor	98.11 m <sup>2</sup>
7A-122	Ground Floor	77.15 m <sup>2</sup>
		175.26 m <sup>2</sup>

7A-131	First Floor	62.07 m <sup>2</sup>
7A-131	Ground Floor	65.24 m <sup>2</sup>
		127.31 m <sup>2</sup>


7A-132	First Floor	62.32 m <sup>2</sup>
7A-132	Ground Floor	65.15 m <sup>2</sup>
		127.47 m <sup>2</sup>

7A-141	First Floor	65.92 m <sup>2</sup>
7A-141	Ground Floor	71.70 m <sup>2</sup>
		137.62 m <sup>2</sup>

7A-142	First Floor	70.80 m <sup>2</sup>
7A-142	Ground Floor	75.86 m <sup>2</sup>
		146.66 m <sup>2</sup>

7A-151	First Floor	99.02 m <sup>2</sup>
7A-151	Ground Floor	76.48 m <sup>2</sup>
		175.50 m <sup>2</sup>

7A-152	First Floor	98.10 m <sup>2</sup>
7A-152	Ground Floor	77.17 m <sup>2</sup>
		175.27 m <sup>2</sup>



Certificate No. # D6MMRR6XT5

Scan QR code or follow website link for rating details.

Assessor name

Accreditation No.

Property Address

Claude-Francois Sookloll

DMN/14/1662

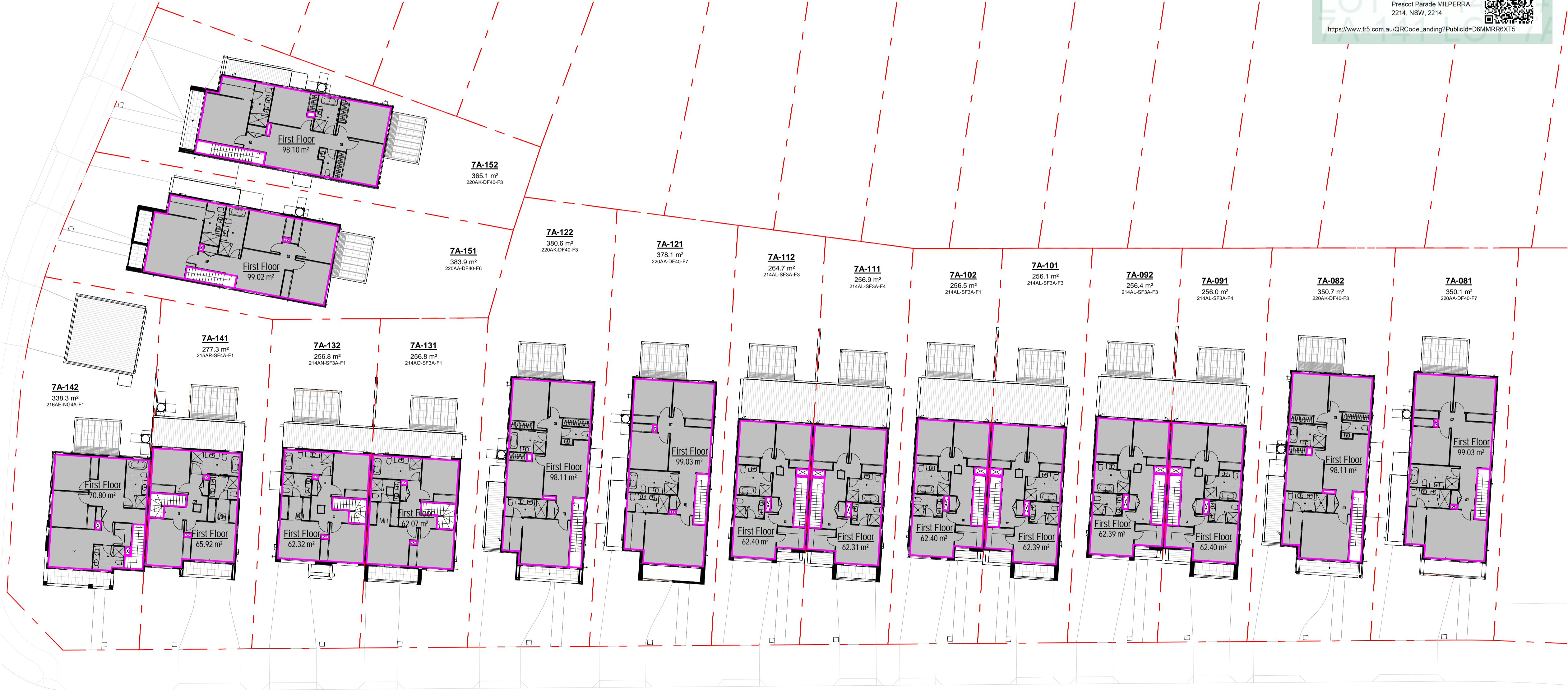
7A-141, Lot 7A-141 (#56)

Prescot Parade MILPERRA

2214, NSW, 2214



<https://www.fr5.com.au/QRCodeLanding?PublicId=D6MMRR6XT5>



1 FSR / GFA FIRST FLOOR PLAN

28.02.25	B	ISSUE FOR DA SUBMISSION	amendment
31.01.25	A	ISSUE FOR BASIX ASSESSMENT	
	rev		

MIRVAC DESIGN

Level 18, 108 George St  
Sydney NSW 2000  
Tel: 02 9461 8800

Mirvac Design Pty Ltd

ABN 76 001 199 153

Mirvac Design Nominees / Responsible Architects:

Ashia Verrina, Michael Weller, David Hogg, Andrew La

[http://www.mirvacdesign.com/nominees\\_and\\_basix](http://www.mirvacdesign.com/nominees_and_basix)



project:  
**RIVERLANDS - MILPERRA**  
56 Prescot Parade, Milperra NSW 2214  
stage: 01  
site: 7A

title:  
**FSR / GFA AREA PLANS FIRST FLOOR**

job no: MB-10245  
drawing no: 431


date: 28.02.25

scale @ A1: 1 : 200

rev. B

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## Certificate No. # D6MMRR6XT5

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**Assessor name** Claude-Francois Sookkio

**Accreditation No.** DMN/14/1662

**Property Address** 741-141, Lot 74-141 (#56)  
Prescott Parade MILPERRA,  
2214, NSW, 2214



<https://www.f5.com.au/QRCodeLanding?PublicId=D6MMRR6XT5>

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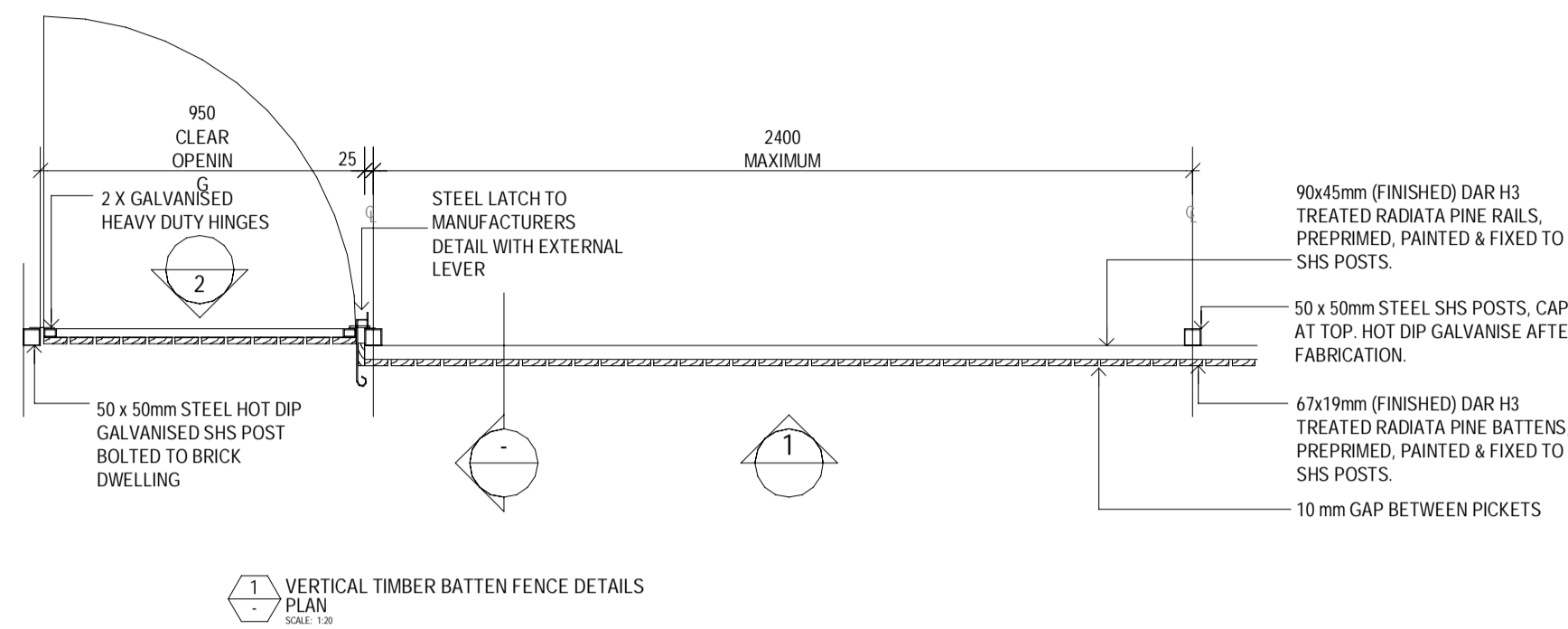
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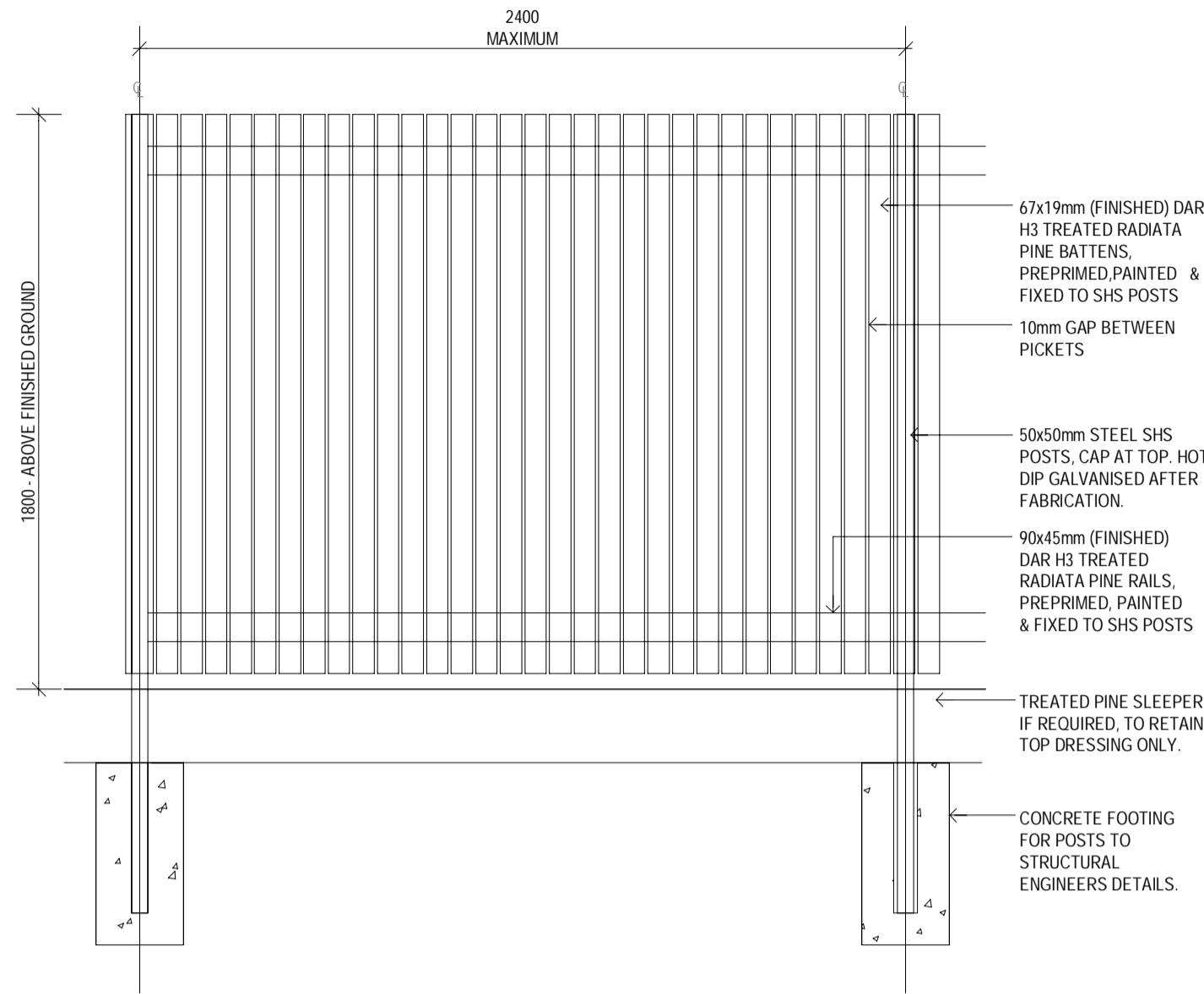
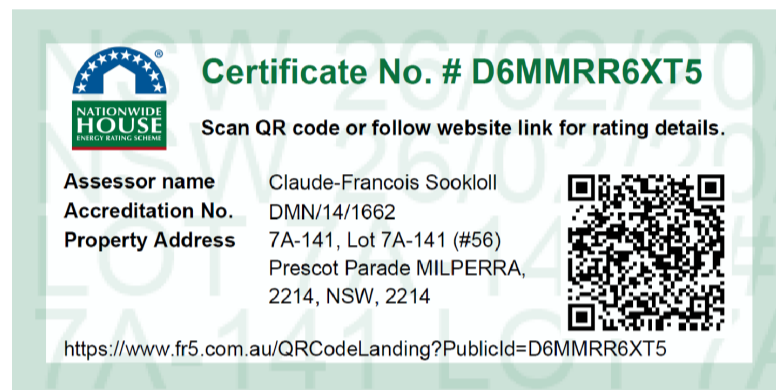
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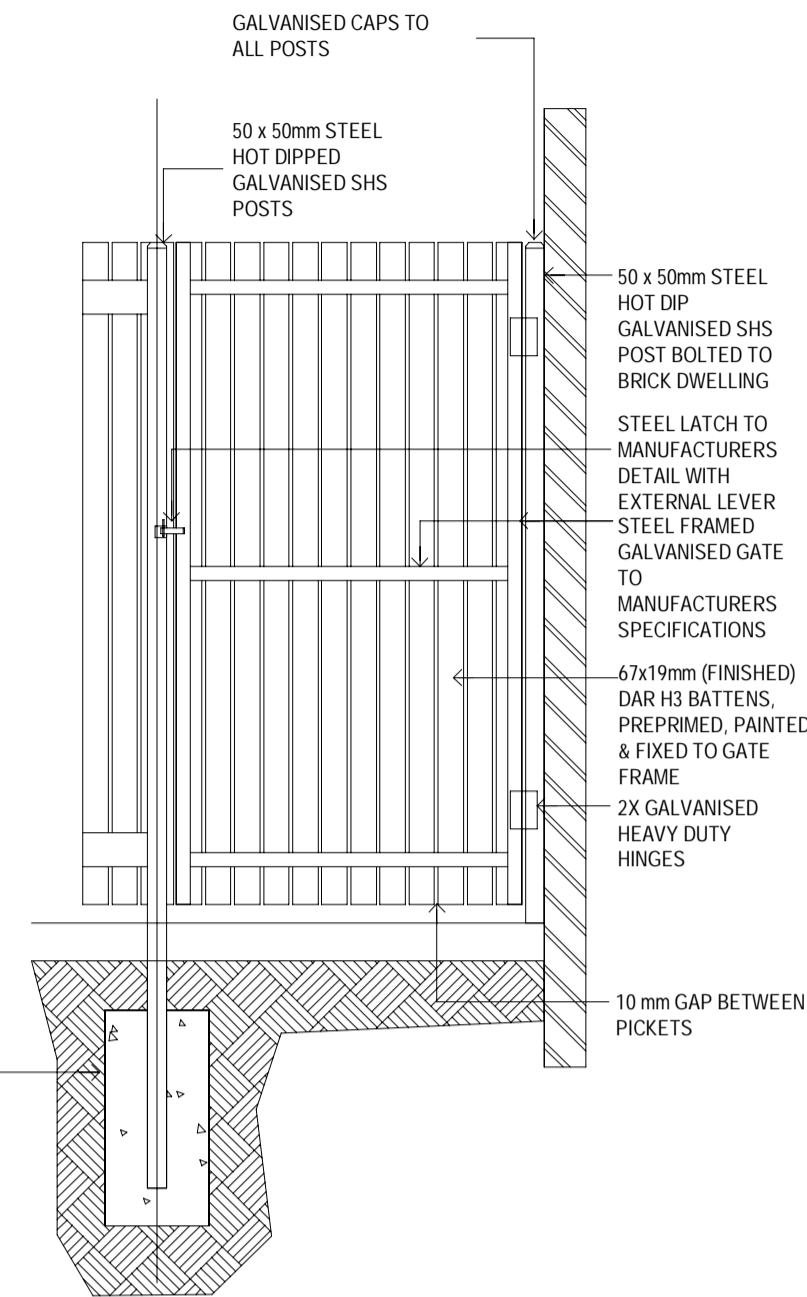
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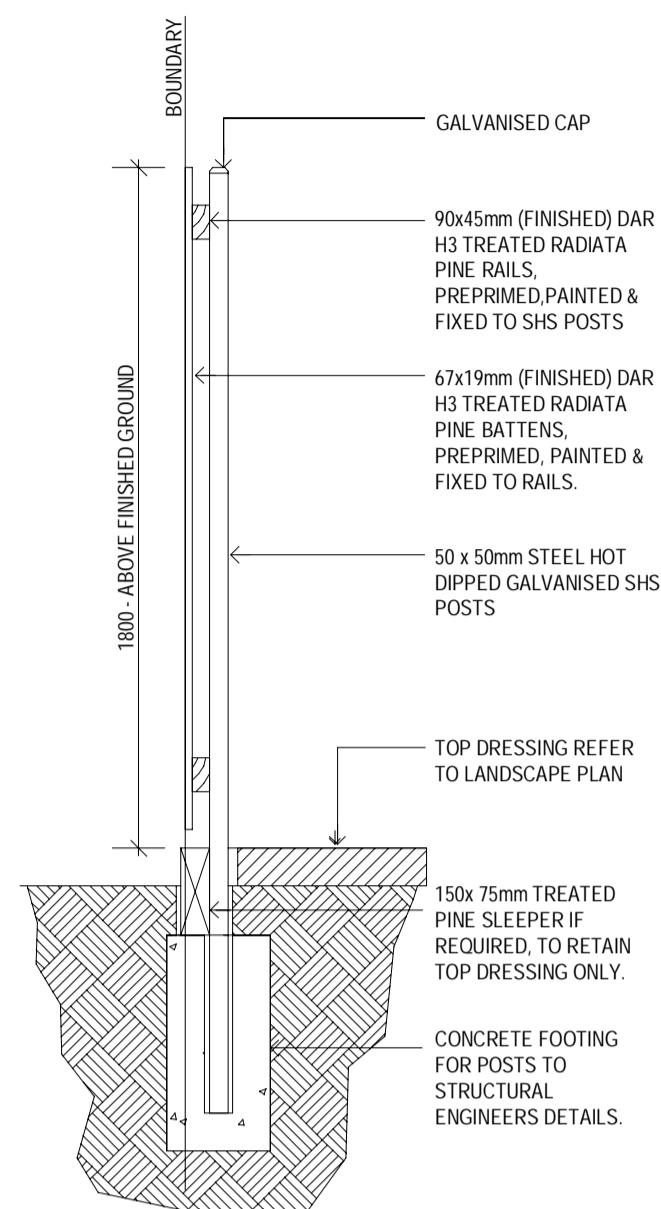
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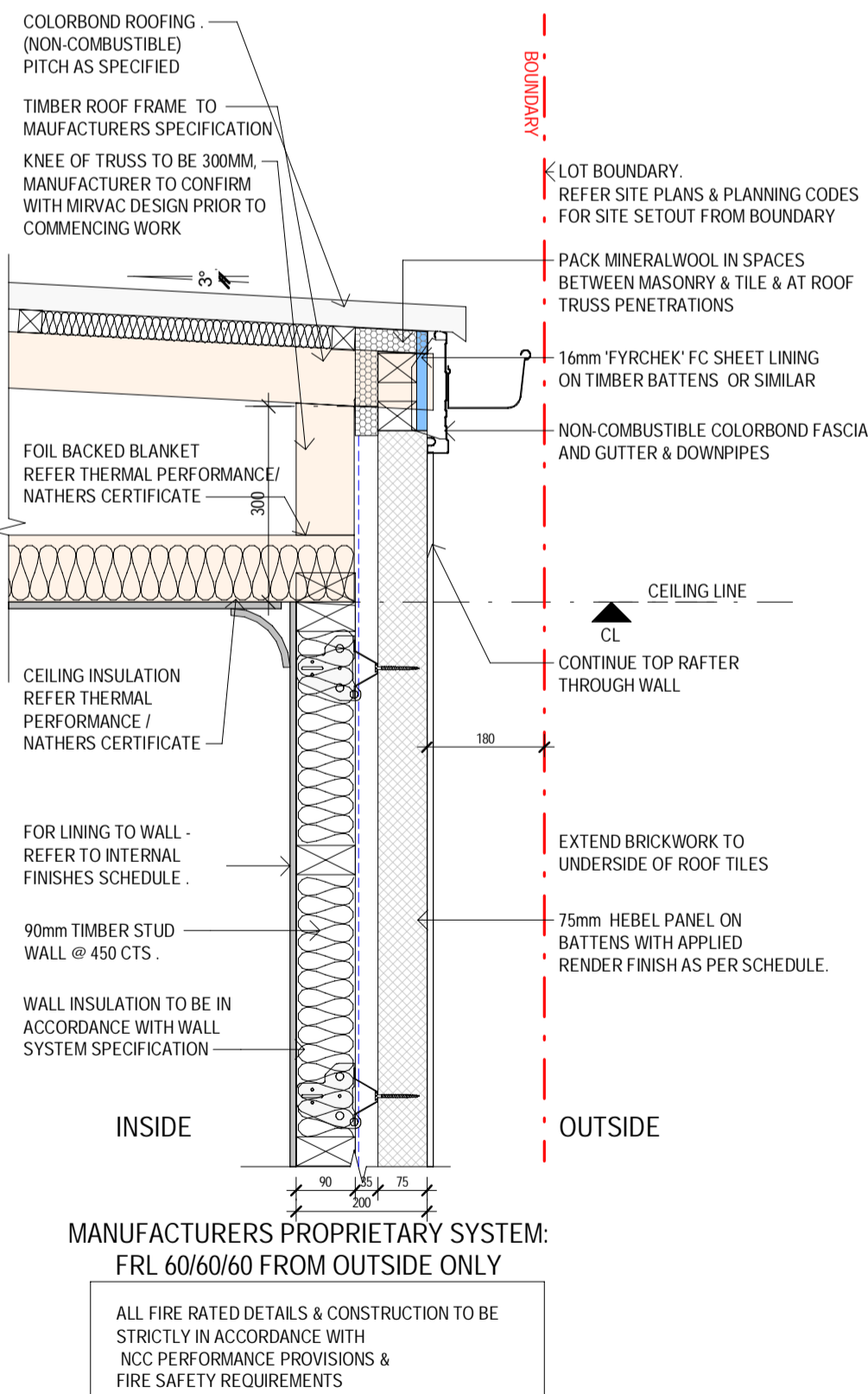
2 VERTICAL TIMBER BATTEN FENCE DETAILS



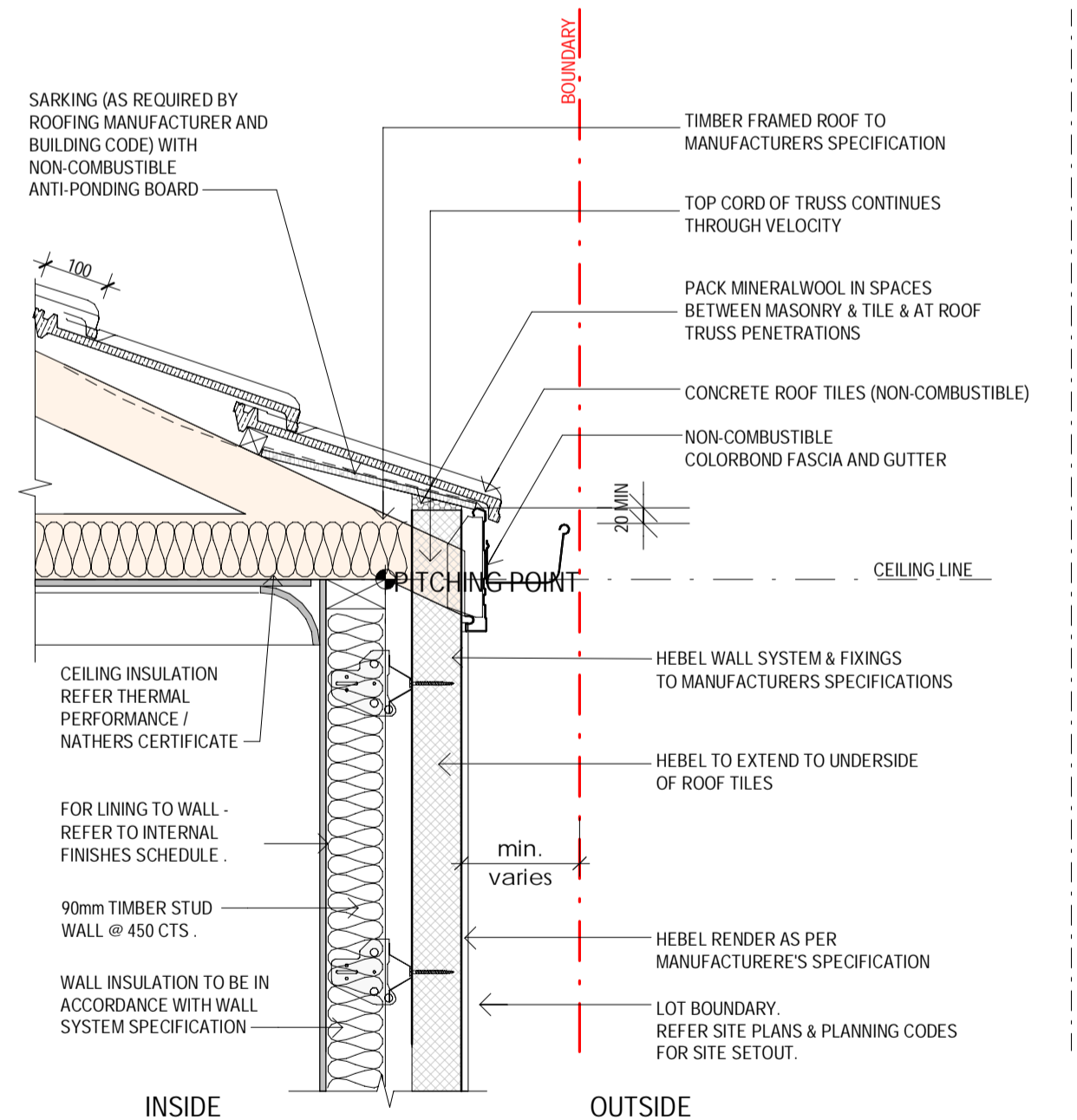
3 VERTICAL TIMBER BATTEN FENCE DETAILS



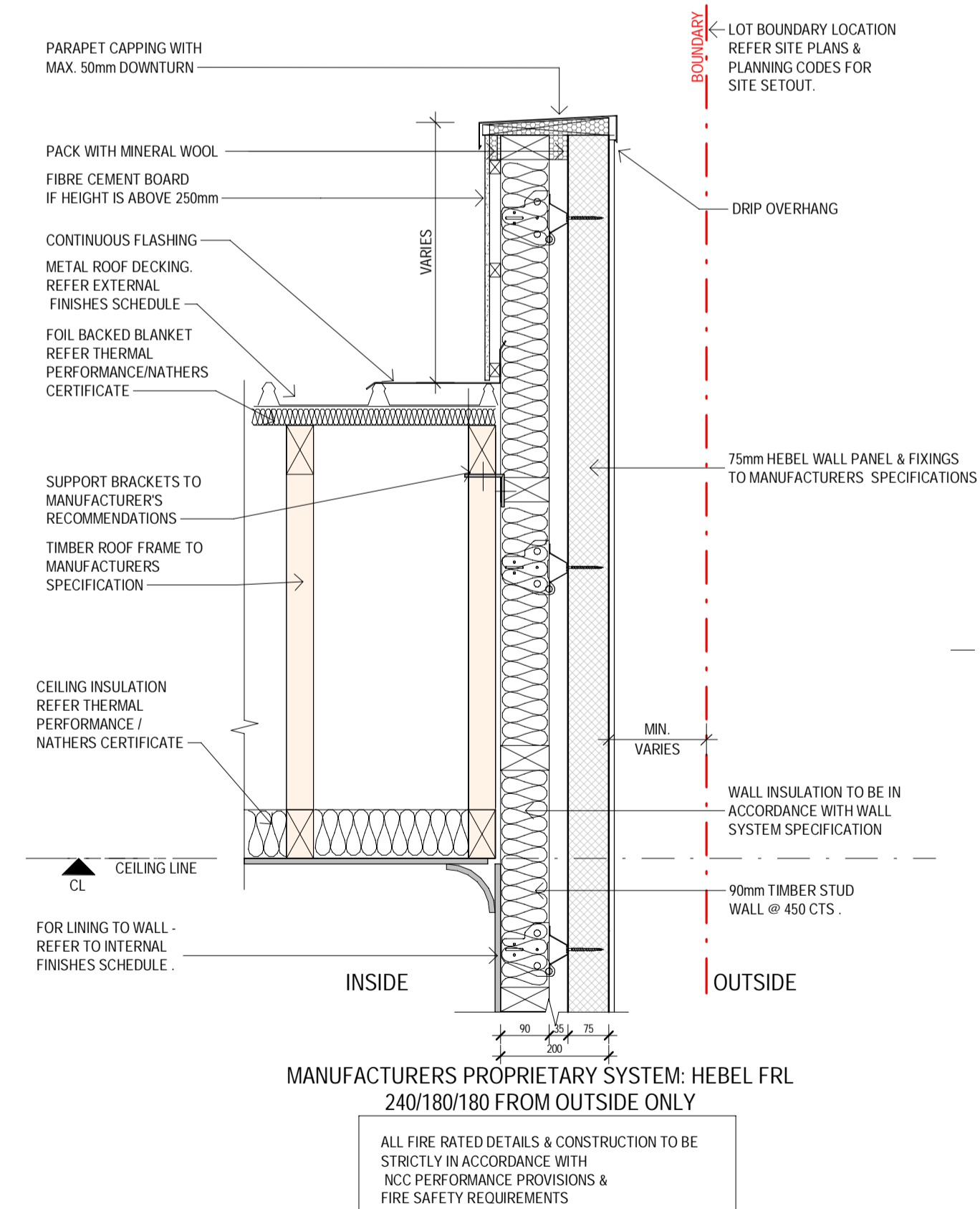
4 VERTICAL TIMBER BATTEN FENCE DETAILS



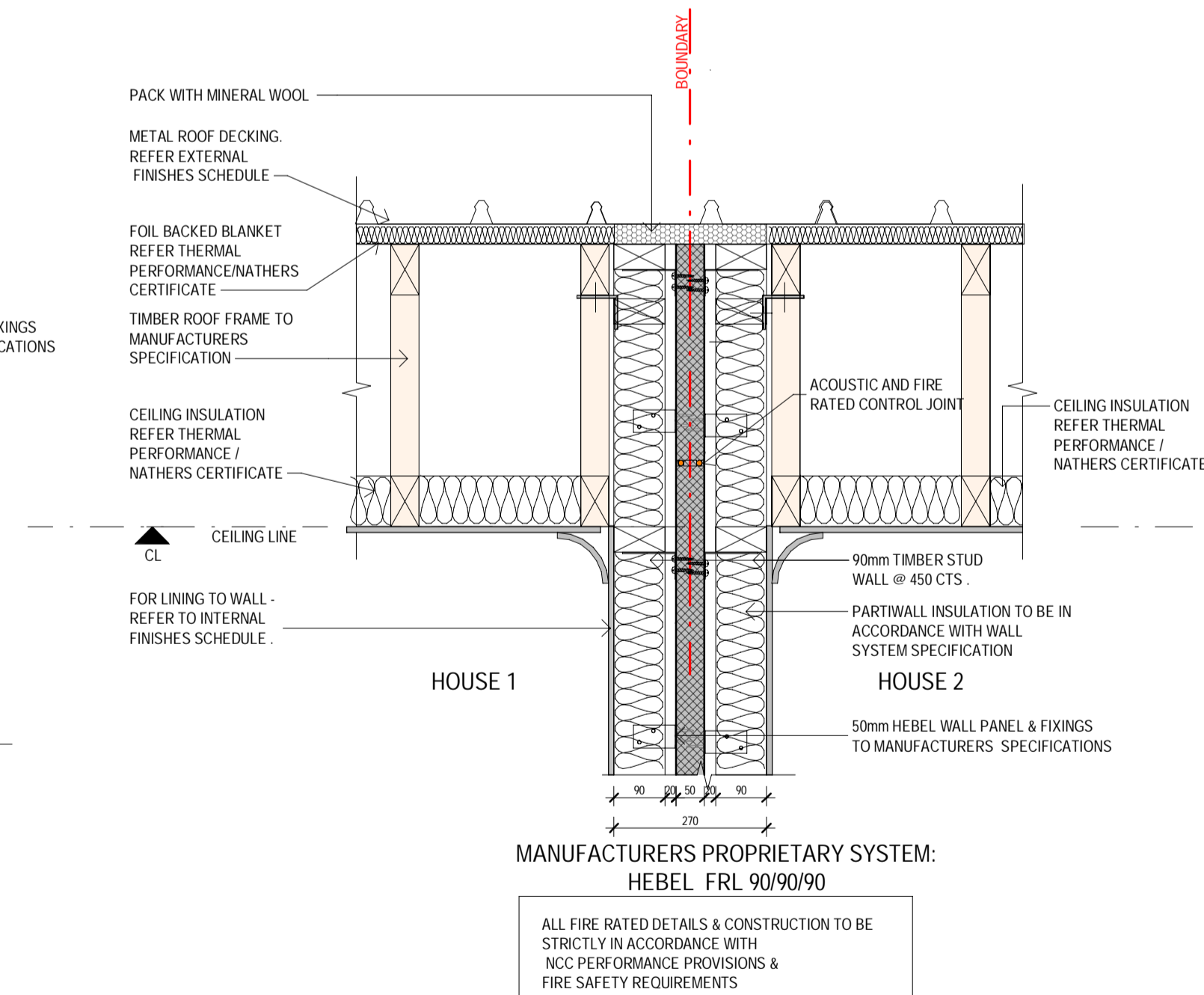
2 FIRE RATED EAVES DETAIL - METAL ROOF - ZERO EAVES



3 FIRE RATED EAVES DETAIL - TILED ROOF - ZERO EAVES



4 HEBEL PARAPET



5 HEBEL PARTY WALL TO WALL